



**BUSINESS OF THE CITY COUNCIL
BONDURANT, IOWA
AGENDA STATEMENT**

Item No. 16
For Meeting of 5/4/2020

TITLE: Resolution considering Sankey Summit Phase 2 Preliminary Plat approval

ACTION: Resolution for vote

CONTACT PERSON: Maggie Murray, Planning & Community Development Director

BRIEF HISTORY:

For review by City Council is approval of the Sankey Summit Phase 2 Preliminary Plat. The developer is Bondurant Lots II, LLC. The plat was submitted by Snyder & Associates. Once fully constructed out, this preliminary plat area will contain 254 lots to be used for single-family detached use, a 4.03-acre public park, stormwater pond areas, and a 15.54-acre Outlot X parcel reserved for potential future development. This preliminary platting area is located north of the existing Sankey Summit Plat 1 subdivision in the area highlighted in red below:



All area proposed for single-family detached development within this preliminary platting area was rezoned from the City's Agricultural (A-1) District to the Medium Density Residential (R-2) District as part of City Council's Ordinances #200203-200 & 201; these rezoning ordinances were contingent upon successful annexation into Bondurant's city limits. The 15.54-acre Outlot X will remain as being zoned as being Agricultural (A-1) once annexed.

The western 77.34 acres of this preliminary plat area was annexed into Bondurant's city limits in February 2020 as part of City Council Resolution #200203-39. The eastern 34.71 acres was considered for annexation approval by City Council in March 2020 as part of Resolution #200302-70; this eastern area is currently in the process of being reviewed by the State's City Development Board.

ANALYSIS:

When considering subdivision plat requests, the Planning and Zoning Commission and City Council should take into account the following: Future Land Use and Zoning; Parkland Dedication; Transportation, Sidewalks, and Utilities; and Comments from City Officials and Private Utilities.

Future Land Use (Comprehensive Plan) and Zoning:

Future Land Use (Comprehensive Plan) – the Future Land Use Map as part of the City's Comprehensive Plan guides for residential reserve development along with some greenspace within the proposed rezoning area. The developer is proposing residential construction with also some stormwater detention areas and a public park in their overall development plan. The uses proposed are consistent with the City's Future Land Use Map.

In addition to the preliminary plat being supported by the Future Land Use Map, below is an objective pulled from the Comprehensive Plan which appears to also support this preliminary plat:

Objective 4.23: Guide new development to occur adjacent to other neighborhoods, rather than in a "leapfrog" pattern which can lead to the premature consumption of farmland.

Zoning – as previously noted in this staff report, all single-family detached development within this preliminary platting area is zoned as being within the City's Medium Density Residential (R-2) District (contingent upon annexation finalization). Proposed lots range in size from to 8,517 SF (Lot 47) to 27,915 SF (Lot 1); all of which meet the R-2 District minimum lot size requirement of at least 7,500 SF.

Parkland Dedication:

Per Section 180.06.5 of the City's Subdivision Code, this Sankey Summit (North) Preliminary Plat area will require dedication of at least **3.81 acres** of public parkland once this entire subdivision area is developed out.

At the time the previous Sankey Summit Plat 1 to the south was reviewed and approved by the City, it was approved with the understanding that the developer would accommodate for the required parkland calculations as part of this Sankey Summit Plat 1 area in this current preliminary plat. There are 99 single-family detached lots as part of the Sankey Summit Plat 1 area, which would require that

an additional **1.485 acres** of parkland be incorporated for as part of this current Sankey Summit Phase 2 preliminary platting area.

3.81 acres + 1.485 acres = at least 5.295 acres of public parkland area must be accommodated for as part of this Sankey Summit Phase 2 preliminary plat area.

The enclosed preliminary plat shows that the developers are proposing **4.03 acres** of public parkland area in the area shown as Outlot P. Per Section 180.06.8 of the Subdivision Code, another usage that can also be considered acceptable for inclusion as part of minimum public parkland dedication requirements is proposed public trail area not out in the public right-of-way area. The preliminary plat shows a 10'-wide public trail to be constructed by the City that will connect Eagle Park on the development's southwest corner over east to Grant Street North. The City's Park, Trail, and Greenway Master Plan shows a future trail system along Grant Street North continuing to extend further north. The proposed trail segment area plus adjacent greenspace area totals **1.48 acres**.

4.03 acres + 1.48 acres = **5.51 acres**; this exceeds the City's minimum dedication requirement by **0.22 acres**.

It should be noted that the minimum public parkland calculation of 5.31 acres does not take into account any potential future development of the area being platted as Outlot X, as no development is proposed on this land at this time. Public parkland requirements would be considered for this Outlot X area at the time this area develops.

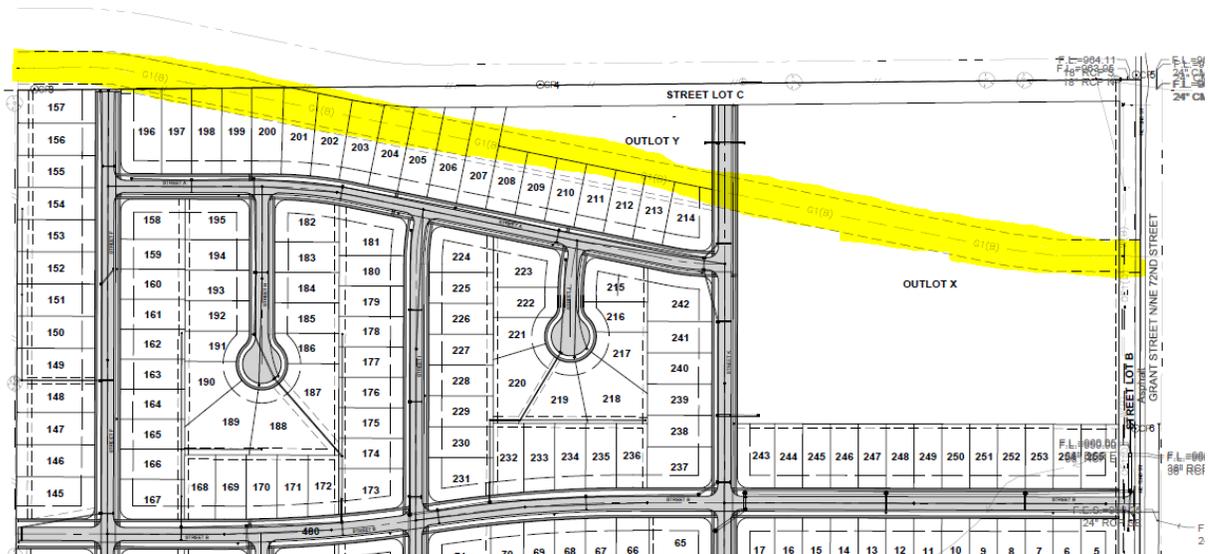
Transportation, Sidewalks, and Utilities:

Transportation. This preliminary plat submittal required preparation of a [Traffic Impact Study](#) by V&K. This Study notes, "Sankey development will require no improvements to the existing roadway network. It is recommended the development be approved as submitted." The City also had a [Deer Ridge Drive NW Traffic Calming Study](#) and [Concept](#) prepared by V&K which looked at both the already-developed portion and also the proposed new area of Deer Ridge Drive NW. A condition of approval takes this Traffic Calming Study into account.

This subdivision proposes access from the existing Grant Street North via the proposed Street B area and also via an extension of Deer Ridge Drive. A series of 6 cul-de-sacs are proposed in this development. All but one cul-de-sac stays under the maximum 600' length requirement – Cul-de-sac G is currently proposed at 613.5'; approval of this length will require waiver approval. The draft plat shows that Lots 1-4 will front the existing Grant Street North; approval of this lot layout will require waiver by the Commission and City Council, as Section 180.05.2.G of the Subdivision Code prohibits new lots in subdivisions of 10+ lots fronting an existing street. Bob Veenstra has indicated that if this waiver is granted, a condition should be tied to it requiring that the driveways be designed such that all maneuvering is done back on private property so that cars pull head out onto Grant Street North instead of backing out. The enclosed preliminary plat shows that Lots 2-4 will share a common driveway off of Grant Street North to help reduce the number of new driveways out to the existing street.

The Comprehensive Plan shows that the existing NE 86th Avenue, which currently stops at Grant Street North, should be extended westward in the future. The draft 2020 Streets Master Plan, also shows that NE 86th Avenue should be extended westward. The preliminary plat is showing a draft path of NE 86th Avenue, but the developer is not proposing actual construction of any portion of NE 86th Avenue. On the eastern portion of this proposed development, the draft path of NE 86th Avenue is proposed to be situated 50% on this Sankey Summit Phase 2 preliminary plat area and 50% on property to the north owned by Mildred Webb. This draft path then shifts northward as the future street moves west where this potential street route will be located entirely on property owned by Mildred Webb to the north on the western side, as there is an existing 75'-wide natural gas pipeline that shifts to the north just south of in the area shown below. Section 180.05.1.H of the Subdivision Code prohibits establishment of half streets (or in this case, less than half for some area) as part of the platting process. Bob Veenstra noted that potential waiver of this requirement could be considered justifiable due to following: 1.) the City would not want to pull the road further south in this Sankey Summit area without also pulling the existing road further south east of Grant Street North, and 2.) it is highly unlikely that the gas company would allow for construction of such roadway over the gas main.

Route of 75'-Wide Gas Easement:



The proposed streets are unnamed at this point. Streets within the subdivision have either a 60'-wide right-of-way or a 70'-wide right-of-way. Street paving widths within the subdivision vary between 26'-wide to 29'-wide. The preliminary plat accommodates for a 100'-wide Grant Street North right-of-way by designating 50'-wide rights-of-way along all lots fronting Grant Street North. The preliminary plat shows the area labeled as Street Lot C as being 50'-wide, meaning that the full right-of-way will be 100'. Bob Veenstra has reviewed the street widths and rights-of-way widths proposed, and is okay with what is shown. The preliminary plat shows a proposed cul-de-sac pavement radius of 45' for all cul-de-sacs proposed. This meets minimum pavement requirements Statewide Urban Design and Specifications (SUDAS).

The original draft of Sankey Summit Phase 2 Preliminary Plat that was reviewed by the Planning & Zoning Commission showed a connection of Deer Ridge Drive NW north up to NE 86th Avenue. Under

Section 180.05.1.C of the Subdivision Code, regarding traffic circulation concerns, the Commission included a condition of their approval that the Sankey Summit Phase 2 Preliminary Plat be updated so that Deer Ridge Drive NW no longer connects north up to the NE 86th Avenue area and that the Street I area instead be this connection point up to the NE 86th Avenue. This updated Street I connection still achieves a connection point from this Sankey Summit Phase 2 Preliminary Plat area up to the NE 86th Avenue area; this connection is shown in both the Comprehensive Plan and the draft 2020 Streets Master Plan.

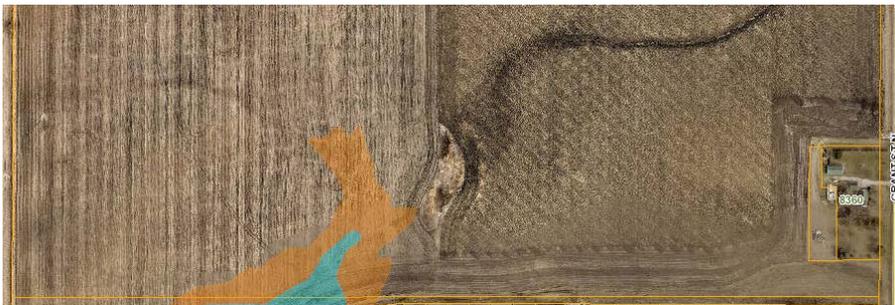
Trails & Sidewalks – the submitted preliminary plat shows installation of public sidewalk areas in all right-of-way areas except for the potential future Outlot X; sidewalks for this Outlot X will be addressed at the time this area develops.

The proposed trail area is previously described in the Parkland Dedication section of this report.

Utilities – The preliminary plat shows installation of public sanitary, water, and storm mains. Bob Veenstra’s most recent [review comments](#) from 4/21/2020 have been addressed as part of a resubmitted preliminary plat.

The required [Stormwater Report](#) has been submitted as part of the preliminary plat submittal. Bob Veenstra’s [review comments](#) from 4/23/2020 note no concerns at this preliminary platting stage.

Another topic related to stormwater - FEMA’s 100-year floodplain, shown in blue below, appears to touch a few of the development lots within this preliminary plat area. A Letter of Map Revision (LOMR-F) will need to be approved by FEMA.



Comments from City Officials and Utilities:

Per Section 180.04.10 of the City’s Subdivision Code, the following City Departments and private utilities were notified of this preliminary plat for comment:

- **City Engineer** – comments are already summarized or linked in this report.
- **Public Works** – reviewed and noted potential concerns over the proposed grading of Outlot P. Condition of preliminary plat approval reflects this comment.
- **Fire Department** – reviewed and provided feedback that this northern portion of Bondurant in general will need a storm siren and noted that Outlot P could potentially be a good location for this siren. Installation of the siren would be the responsibility of the City.

- **Bondurant-Farrar Community School District** – no comments received relative to this preliminary plat; however, the Bondurant-Farrar Community School District previously reviewed the request as part of the rezoning notification process and noted no concerns.
- **Post Office** – no concerns submitted. Thanked City for being included as part of plat notification process so the Post Office can begin to plan accordingly.
- **CenturyLink** – noted no concerns with proposed subdivision.
- **Mediacom** – notified but no comments received.
- **Windstream** – did not relay any concerns but provided any area map of their facilities.
- **MidAmerican** – notified but no comments received.
- **Northern Natural Gas** – notified but no comments received.

PLANNING & ZONING COMMISSION REVIEW/RECOMMENDATION:

The Planning & Zoning Commission reviewed the Sankey Summit Phase 2 Preliminary Plat during their April 23rd, 2020 meeting and recommended approval with a 6-0 vote with one member absent, subject to the following Code clarification items being addressed:

1. That as agreed upon by the Developer at the Commission meeting, that the Outlot P park also have a second access along the north opposite of the south access. *Staff's note on this – the Subdivision Code does not require that two access points be provided. After the Commission's meeting, the developer willingly updated the plat to show a second access to the Outlot Park on the north side of the park.*
2. That the traffic calming methods as proposed in the Deer Ridge Drive NW Traffic Calming Study be incorporated as part of the construction drawings and that this may also include a traffic calming method near the proposed trail crossing at Deer Ridge Drive NW. *Staff's note on this – a resubmitted preliminary plat shows a traffic calming measure where the proposed trail crosses Deer Ridge Drive NW.*
3. That Deer Ridge Drive NW will not connect up to NE 86th Avenue and instead a connection will exist up to NE 86th Avenue in the area of Street I. *Staff's note on this – this item has been addressed as part of a resubmitted preliminary plat.*
4. That a 0.69-acre parkland fee in lieu of dedication will be required by the developer once a final plat has been prepared which contains the 209th lot of this Sankey Summit Phase 2 Preliminary Plat area (the 209th lot is the point at which the developer starts to not meet the minimum parkland dedication requirements). *Staff's note on this – this Code clarification item no longer applies, as the preliminary plat has been updated to show the trail connection along the southern area of the plat. This trail + Outlot P exceeds minimum parkland dedication requirements.*
5. That the City's utility comments provided via Bob Veenstra's memos be addressed as part of a preliminary plat resubmittal. *Staff's note on this – this condition no longer applies, as it has been addressed as part of a resubmitted preliminary plat.*
6. That the City's stormwater comments as part of Bob Veenstra's review be addressed as part of a resubmitted stormwater report. *Staff's note on this – this condition no longer applies, as it has been addressed as part of the resubmitted Stormwater Report and V&K's April 23rd, 2020 review.*
7. That a waiver to Section 180.05.1.H of the Subdivision Code be granted to allow for a half street and less than half street right-of-way dedication for the future path of NE 86th Avenue due to the location of the existing gas main in this area.

8. That a waiver to Section 180.05.2.G of the Subdivision Code be granted only if the driveways are designed such that all maneuvering is done back on private property so that cars can pull head out onto Grant Street North instead of backing out in this street right-of-way.
9. That a waiver to Section 180.05.1.E be granted to allow for a 614' cul-de-sac, which is 14' over the maximum allowed in the Code.
10. That the Public Works comments relative to potential parkland grading be addressed as part of a resubmitted preliminary plat. *Staff's note on this – John Horton, Public Works Director, is in the process of having the Stormwater Report's calculations plugged into the stormwater modeling created as a result of the City's Stormwater Master Plan. If there are ponding concerns after being plugged into the model, the grading proposed will need to be updated.*
11. That preliminary plat approval is contingent upon successful annexation of all lands shown in this preliminary plat area into Bondurant's city limits.
12. A general note that eventual construction within the area currently shown as being the 100-year floodplain is subject to elevating above and FEMA's LOMR-F approval.

ALTERNATIVES:

The option exists to not approve the resolution or table pending additional feedback; however, this is not recommended by staff, as the City's Subdivision Code appears to be met once the conditions listed as part of staff's recommendation are taken into account.

STAFF RECOMMENDATION:

Subject to further comments received, staff recommends approval of the Sankey Summit Phase 2 Preliminary Plat, subject to the following City Code/Policy requirements being addressed:

1. That the traffic calming methods as proposed in the Deer Ridge Drive NW Traffic Calming Study be incorporated as part of the construction drawings and that this may also include a traffic calming method near the proposed trail crossing at Deer Ridge Drive NW.
2. That Deer Ridge Drive NW will not connect up to NE 86th Avenue and instead a connection will exist up to NE 86th Avenue in the area of Street I.
3. That a waiver to Section 180.05.1.H of the Subdivision Code be granted to allow for a half street and less than half street right-of-way dedication for the future path of NE 86th Avenue due to the location of the existing gas main in this area.
4. That a waiver to Section 180.05.2.G of the Subdivision Code be granted only if the driveways are designed such that all maneuvering is done back on private property so that cars can pull head out onto Grant Street North instead of backing out in this street right-of-way.
5. That a waiver to Section 180.05.1.E be granted to allow for a 614' cul-de-sac, which is 14' over the maximum allowed in the Code.
6. That the Public Works comments relative to potential parkland grading be addressed as part of a resubmitted preliminary plat.
7. That preliminary plat approval is contingent upon successful annexation of all lands shown in this preliminary plat area into Bondurant's city limits.
8. A general note that eventual construction within the area currently shown as being the 100-year floodplain is subject to elevating above and FEMA's LOMR-F approval.

CITY OF BONDURANT
RESOLUTION NO. 200504-137

RESOLUTION APPROVING THE SANKEY SUMMIT PHASE 2 PRELIMINARY PLAT

WHEREAS, the developer is Bondurant Lots II, LLC; AND

WHEREAS, the engineer is Snyder & Associates;

WHEREAS, the proposed preliminary plat is legally described as follows; AND

NORTHEAST 1/3 OF SECTION 25, TOWNSHIP 80 NORTH, RANGE 23 WEST OF THE 5TH P.M., CITY OF BONDURANT, POLK COUNTY, IOWA, EXCEPT SANKEY SUMMIT PLAT 1 AND EXCEPT A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 25, TOWNSHIP 80 NORTH, RANGE 23, AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 1455.0 FEET SOUTH OF THE NORTHEAST CORNER OF SECTION 25, TOWNSHIP 80 NORTH, RANGE 23 WEST OF THE 5TH P.M., DOUGLAS TOWNSHIP, POLK COUNTY, IOWA, THENCE SOUTH 336.0 FEET, THENCE SOUTH 89°30' WEST 178.0 FEET, THENCE NORTH 215 FEET, THENCE SOUTH 89°30' WEST 45.0 FEET, THENCE NORTH 121.0 FEET, THENCE NORTH 89°30' EAST 223.0 FEET, TO THE POINT OF BEGINNING, 1.50 ACRES, MORE OR LESS AND EXCEPT BEGINNING AT A POINT BEING 1,455.00 FEET. S-00°00'00"-W AND 223.00 FT. S89°30'00"W OF THE NORTHEAST CORNER OF SECTION 25, TOWNSHIP 80 NORTH, RANGE 23 WEST OF THE 5TH P.M., POLK COUNTY, IOWA, THENCE S00°00'00", 121.00 FT., THENCE N89°30'00"E, 45.00 FT.' THENCE S00°00'00"W, 215.00 FT.; THENCE S89°30'00"W, 81.03 FT.; THENCE N00°00'00"E, 336.00 FT.; THENCE N89°30'00"E, 36.03 FT. TO THE POINT OF BEGINNING. ALL OF SAID PARCEL BEING LOCATED IN THE SOUTHEAST QUARTER (SE ¼) OF THE NORTHEAST QUARTER (NE ¼) OF SECTION 25, TOWNSHIP 80 NORTH, RANGE 23 WEST OF THE 5TH P.M., POLK COUNTY, IOWA AND CONTAINING APPROXIMATELY 0.5000 ACRES.

WHEREAS, this is a subdivision that includes land both within Bondurant's city limits and also land currently in the process of being annexed into Bondurant's city limits; AND

WHEREAS, the Planning and Zoning Commission reviewed the Sankey Summit Phase 2 Preliminary Plat during their April 23rd, 2020 meeting and recommended approval of this Preliminary Plat with conditions as noted in the meeting minutes.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Bondurant, Iowa, that the Sankey Summit Phase 2 Preliminary Plat is hereby approved subject to the following Subdivision Code process requirements:

1. That the traffic calming methods as proposed in the Deer Ridge Drive NW Traffic Calming Study be incorporated as part of the construction drawings and that this may also include a traffic calming method near the proposed trail crossing at Deer Ridge Drive NW.
2. That Deer Ridge Drive NW will not connect up to NE 86th Avenue and instead a connection will exist up to NE 86th Avenue in the area of Street I.
3. That a waiver to Section 180.05.1.H of the Subdivision Code be granted to allow for a half street and less than half street right-of-way dedication for the future path of NE 86th Avenue due to the location of the existing gas main in this area.
4. That a waiver to Section 180.05.2.G of the Subdivision Code be granted only if the driveways are designed such that all maneuvering is done back on private property so that cars can pull head out onto Grant Street North instead of backing out in this street right-of-way.
5. That a waiver to Section 180.05.1.E be granted to allow for a 614' cul-de-sac, which is 14' over the maximum allowed in the Code.
6. That the Public Works comments relative to potential parkland grading be addressed as part of a resubmitted preliminary plat.
7. That preliminary plat approval is contingent upon successful annexation of all lands shown in this preliminary plat area into Bondurant's city limits.
8. A general note that eventual construction within the area currently shown as being the 100-year floodplain is subject to elevating above and FEMA's LOMR-F approval.

Passed this 4th day of May, 2020,

By: _____
Curt Sullivan, Mayor

ATTEST: I, Shelby Hagan, City Clerk of Bondurant, hereby certify that at a meeting of the City Council held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand the day and year above written.

Shelby Hagan, City Clerk

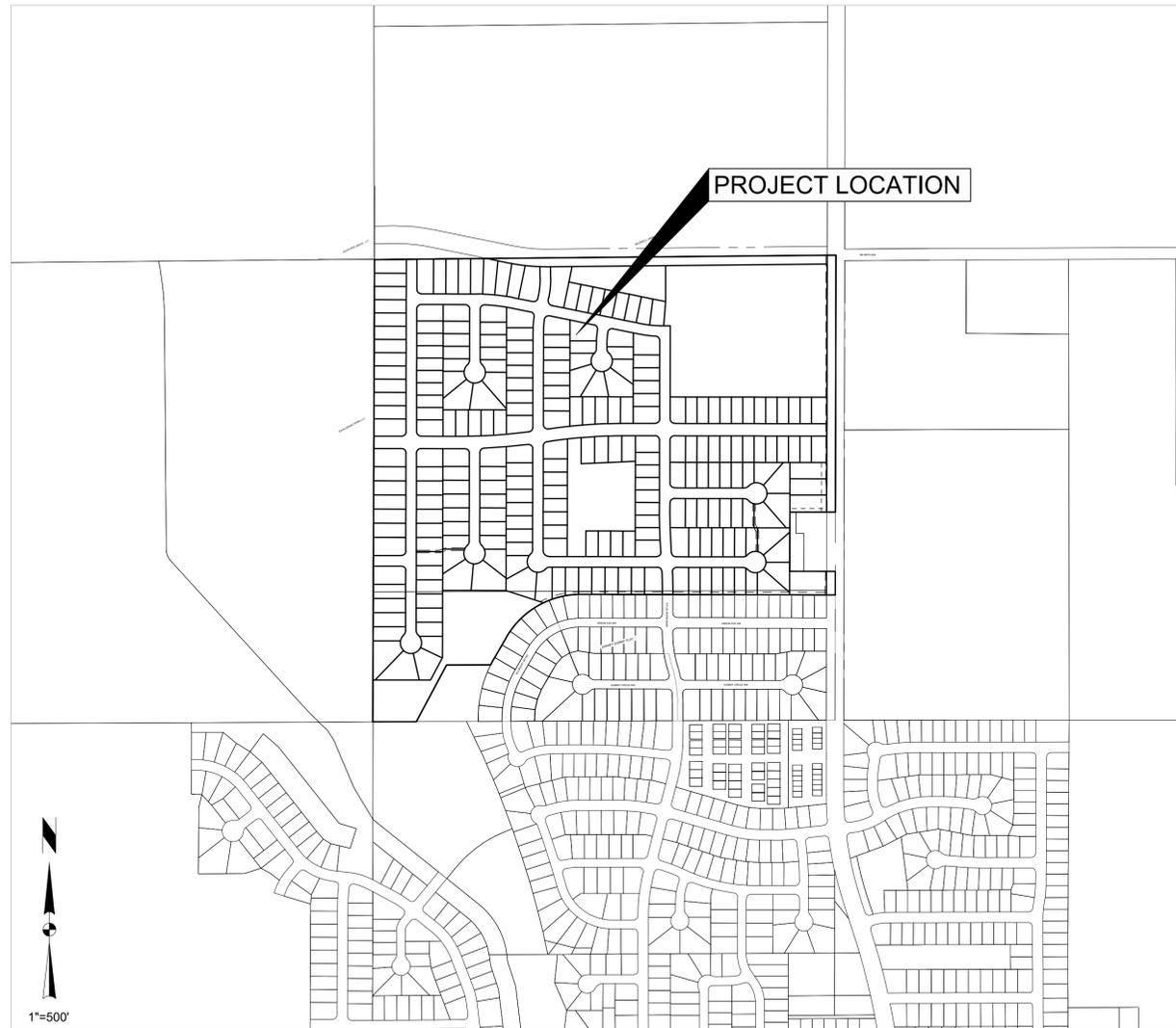
Council Action	Ayes	Nays	Abstain	Absent
Cox				
Peffer				
Enos				
McKenzie				
Elrod				

LEGEND

FEATURES	EXISTING	PROPOSED
Spot Elevation	93.0	93.0
Contour Elevation	60	60
Fence (Barbed, Field, Hog)	— — — —	— — — —
Fence (Chain Link)	— — — —	— — — —
Fence (Wood)	— — — —	— — — —
Fence (Silt)	— — — —	— — — —
Tree Line	— — — —	— — — —
Tree Stump	— — — —	— — — —
Deciduous Tree \ Shrub	— — — —	— — — —
Coniferous Tree \ Shrub	— — — —	— — — —
Communication	— — — —	— — — —
Overhead Communication	— — — —	— — — —
Fiber Optic	— — — —	— — — —
Underground Electric	— — — —	— — — —
Overhead Electric	— — — —	— — — —
Gas Main with Size	— — — —	— — — —
High Pressure Gas Main with Size	— — — —	— — — —
Water Main with Size	— — — —	— — — —
Sanitary Sewer with Size	— — — —	— — — —
Duct Bank	— — — —	— — — —
Test Hole Location for SUE w/ID	— — — —	— — — —
(*) Denotes the survey quality service level for utilities		
Sanitary Manhole	— — — —	— — — —
Storm Sewer with Size	— — — —	— — — —
Storm Manhole	— — — —	— — — —
Single Storm Sewer Intake	— — — —	— — — —
Double Storm Sewer Intake	— — — —	— — — —
Fire Hydrant	— — — —	— — — —
Fire Hydrant on Building	— — — —	— — — —
Water Main Valve	— — — —	— — — —
Water Service Valve	— — — —	— — — —
Well	— — — —	— — — —
Utility Pole	— — — —	— — — —
Guy Anchor	— — — —	— — — —
Utility Pole with Light	— — — —	— — — —
Utility Pole with Transformer	— — — —	— — — —
Street Light	— — — —	— — — —
Yard Light	— — — —	— — — —
Electric Box	— — — —	— — — —
Electric Transformer	— — — —	— — — —
Traffic Sign	— — — —	— — — —
Communication Pedestal	— — — —	— — — —
Communication Manhole	— — — —	— — — —
Communication Handhole	— — — —	— — — —
Fiber Optic Manhole	— — — —	— — — —
Fiber Optic Handhole	— — — —	— — — —
Gas Valve	— — — —	— — — —
Gas Manhole	— — — —	— — — —
Gas Apparatus	— — — —	— — — —
Fence Post or Guard Post	— — — —	— — — —
Underground Storage Tank	— — — —	— — — —
Above Ground Storage Tank	— — — —	— — — —
Sign	— — — —	— — — —
Satellite Dish	— — — —	— — — —
Mailbox	— — — —	— — — —
Sprinkler Head	— — — —	— — — —
Irrigation Control Valve	— — — —	— — — —

SANKEY SUMMIT PHASE 2

PRELIMINARY PLAT



PLAT DESCRIPTION

NORTHEAST 1/4 OF SECTION 25, TOWNSHIP 80 NORTH, RANGE 23 WEST OF THE 5TH P.M., CITY OF BONDURANT, POLK COUNTY, IOWA, EXCEPT SANKEY SUMMIT PLAT 1 AND EXCEPT A PARCEL OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 25, TOWNSHIP 80 NORTH, RANGE 23, AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT 1455.0 FEET SOUTH OF THE NORTHEAST CORNER OF SECTION 25, TOWNSHIP 80 NORTH, RANGE 23 WEST OF THE 5TH P.M., DOUGLAS TOWNSHIP, POLK COUNTY, IOWA, THENCE SOUTH 336.0 FEET, THENCE SOUTH 89°30' WEST 178.0 FEET, THENCE NORTH 215.0 FEET, THENCE SOUTH 89°30' WEST 45.0 FEET, THENCE NORTH 121.0 FEET, THENCE NORTH 89°30' EAST 223.0 FEET, TO THE POINT OF BEGINNING, 1.50 ACRES, MORE OR LESS AND EXCEPT BEGINNING AT A POINT BEING 1,455.00 FT. S-00°-00'00"-W AND 223.00 FT. S89°30'00"W OF THE NORTHEAST CORNER OF SECTION 25, TOWNSHIP 80 NORTH, RANGE 23 WEST OF THE 5TH P.M., POLK COUNTY, IOWA, THENCE S00°00'00"W, 121.00 FT., THENCE N89°30'00"E, 45.00 FT.; THENCE S00°00'00"W, 215.00 FT.; THENCE S89°30'00"W, 81.03 FT.; THENCE N00°00'00"E, 336.00 FT.; THENCE N89°30'00"E, 36.03 FT. TO THE POINT OF BEGINNING, ALL OF SAID PARCEL BEING LOCATED IN THE SOUTHEAST QUARTER (SE 1/4) OF THE NORTHEAST 1/4 (NE 1/4) OF SECTION 25, TOWNSHIP 80 NORTH, RANGE 23 WEST OF THE 5TH P.M., POLK COUNTY, IOWA AND CONTAINING APPROXIMATELY 0.5000 ACRES.

OWNER/DEVELOPER

BONDURANT LOTS II LLC
2400 88TH ST
URBANDALE, IA 50322

ENGINEER/SURVEYOR

SNYDER & ASSOCIATES, INC.
CONSULTING ENGINEERS & PLANNERS
2727 SW SNYDER BOULEVARD
ANKENY, IOWA 50023
(515)964-2020
ERIC CANNON, P.E.
ERIN GRIFFIN, PLS

ZONING

R-2: MEDIUM DENSITY RESIDENTIAL (LOTS 1-255)
A-1 AGRICULTURAL (OUTLOT X)

BULK REGULATIONS:

R-2 MEDIUM DENSITY RESIDENTIAL:
SINGLE-FAMILY DWELLING (LOTS 1-255)
MINIMUM LOT AREA = 7,500SF
MINIMUM LOT WIDTH = 65'
FRONT YARD SETBACK = 30'
REAR YARD SETBACK = 35'
SIDE YARD SETBACK = 7'

NOTES:

- DRIVEWAYS FOR LOT 1-4 SHALL BE DESIGNED SUCH THAT ALL MANEUVERING IS DON ON PRIVATE PROPERTY SO THAT CARS CAN PULL OUT HEAD FIRST ONTO GRANT STREET
- LOTS 2-4 SHALL BE LIMITED TO ONE ACCESS POINT ON GRANT STREET WITHIN SHARED DRIVE
- PARKLAND DEDICATION FOR THE DEVELOPMENT SHALL BE PROVIDED AS FOLLOWS:
-PLAT 1 = 99 LOTS * .005*3 = 1.485 AC REQUIRED
-CURRENT ACQUISITION/DEVELOPMENT LIMITS (LIMITS OF PLAT OF SURVEY WHICH WILL BE PLAT 2&3) = 173 LOTS * .005*3 = 2.595 AC REQUIRED
-TOTAL REQUIRED WITH PLATS 1,2,3 = 1.485+2.595=4.08AC
-TOTAL PROVIDED = 4.03AC IN OUTLOT P AND 1.48AC WITH TRAIL LIMITS = 5.51AC
-5.51AC - 4.08AC = 1.43AC CREDIT ON PARKLAND FOR FUTURE LOTS
-FUTURE LOTS = 82*.005*3 = 1.23AC-1.43AC CREDIT=0.20AC OF CREDIT WILL BE AVAILABLE FOR THE DEVELOPMENT OF OUTLOT X
- CONSTRUCTION WITHIN THE AREA CURRENTLY SHOWN AS THE FEMA 100YR FLOODPLAIN IS SUBJECT TO ELEVATING LOTS ABOVE THE 100YR FLOODPLAIN AND FEMA'S LOMR-F APPROVAL

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN ARE IN THE EXACT LOCATION INDICATED EXCEPT WHERE NOTED AS QUALITY LEVEL A.

UTILITY CONTACT INFORMATION

UTILITY CONTACT FOR MAPPING INFORMATION SHOWN AS RECEIVED FROM THE IOWA ONE CALL DESIGN REQUEST SYSTEM, TICKET NUMBER 551907039.

STORM SEWER S1-SANITARY SEWER	CITY OF BONDURANT PATRICK COLLISON 515-971-6856 pcollisonr@cityofbondurant.com
G1-HIGH PRESSURE GAS	NORTHERN NATURAL GAS COMPANY KEITH GOOD 515-202-5067 keith.good@nngco.com
E1-ELECTRIC OE1-OVERHEAD ELECTRIC G2-GAS	MIDAMERICAN ENERGY CRAIG RANFELD 515-252-6632 MECDMSDesignLocates@midamerican.com
FO1-FIBER OPTIC	WINDSTREAM COMMUNICATIONS LOCATE DESK 800-289-1901 locate.desk@windstream.com
FO2-FIBER OPTIC	BONDURANT-FARRAR COMMUNITY SCHOOL CHRIS BEIGHLER 515-250-7730 bieghlerc@bfschools.org
CO1-COMMUNICATION	CENTURYLINK TOM STURMER 720-578-8090 thomas.sturmer@centurylink.com
W1-WATER	SOUTHEAST POLK RURAL WATER DISTRICT JANA HODGES 515-283-8729 hodges@dmww.com

UTILITY QUALITY SERVICE LEVELS

QUALITY LEVELS OF UTILITIES ARE SHOWN IN THE PARENTHESES WITH THE UTILITY TYPE AND WHEN APPLICABLE, SIZE. THE QUALITY LEVELS ARE BASED ON THE CI / ASCE 38-02 STANDARD. QUALITY LEVEL (D) INFORMATION IS DERIVED FROM EXISTING UTILITY RECORDS OR ORAL RECOLLECTIONS.

QUALITY LEVEL (C) INFORMATION IS OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION WITH QUALITY D INFORMATION.

QUALITY LEVEL (B) INFORMATION IS OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES.

QUALITY LEVEL (A) IS HORIZONTAL AND VERTICAL POSITION OF UNDERGROUND UTILITIES OBTAINED BY ACTUAL EXPOSURE OR VERIFICATION OF PREVIOUSLY EXPOSED SUBSURFACE UTILITIES, AS WELL AS THE TYPE, SIZE, CONDITION, MATERIAL, AND OTHER CHARACTERISTICS.

BENCHMARKS

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88 - GEOID12A)
IARTN DERIVED - US SURVEY FEET

BM500	N=7532139 E=18568912 ELEV=975.13 NORTHWEST BURY BOLT ON 2008 WATROUS HYDRANT ON EAST SIDE OF GRANT STREET ON SOUTH SIDE OF SOUTH ENTRANCE TO SCHOOL, SOUTHEAST OF SITE.
BM501	N=7532848.79 E=18567928.13 ELEV=961.93 BURY BOLT ON HYDRANT AT THE NORTHEAST END OF DEER RIDGE DRIVE NW, SOUTH SIDE OF SITE.

VICINITY MAP

BONDURANT, IOWA

CONTROL POINTS

IOWA REGIONAL COORDINATE SYSTEM ZONE 8 (AMES-DES MOINES)
NAD83(2011)(EPOCH 2010.00) IARTN DERIVED - US SURVEY FEET

CP1	N=7532192.65 E=18566246.47 ELEV=946.84 1/2" REBAR WITH RED CAP 5' EAST OF FENCE POST, SOUTHWEST CORNER OF SITE.
CP2	N=7533369.03 E=18568927.98 ELEV=964.76 1/2" REBAR WITH RED CAP IN BERM 215' NORTH OF NORTH DRIVE TO SCHOOL, EAST OF SITE.
CP3	N=7534746.24 E=18566284.54 ELEV=965.40 1/2" REBAR WITH RED CAP 35' EAST OF FENCE CORNER POST, NORTHWEST CORNER OF SITE.
CP4	N=7534757.43 E=18567465.20 ELEV=963.16 1/2" REBAR WITH RED CAP 1' SOUTH OF FENCELINE, NORTH SIDE OF SITE.
CP5	N=7534779.98 E=18568856.01 ELEV=968.90 MAG NAIL IN THE WEST EDGE OF NE 72ND STREET 10' NORTH OF FENCELINE, NORTHEAST CORNER OF SITE.
CP6	N=7533955.17 E=18568854.39 ELEV=965.33 MAG NAIL IN THE WEST EDGE OF NE 72ND STREET EAST OF POWER POLE 60' NORTH OF TWIN 36" RCP, EAST SIDE OF SITE.
CP7	N=7532844.82 E=18568827.18 ELEV=966.27 1/2" REBAR WITH RED CAP 5' NORTH OF POWER POLE & 13' EAST OF CORNER OF WOOD FENCE, SOUTHEAST CORNER OF SITE.
CP8	N=7532801.40 E=18567894.47 ELEV=961.14 CUT "X" IN BACK OF CURB ON THE WEST SIDE OF DEER RIDGE DRIVE NW, SOUTH SIDE OF SITE.
CP9	N=7532561.41 E=18566969.25 ELEV=949.28 CUT "X" IN END OF CONCRETE TRAIL AT FENCELINE NORTH OF SHED, SOUTH SIDE OF SITE.
CP10	N=7531664.04 E=18566574.33 ELEV=943.72 1/2" REBAR WITH RED CAP 80' SOUTH OF POND, SOUTHEAST CORNER OF SITE.
CP11	N=7533478.17 E=18566239.75 ELEV=956.93 1/2" REBAR WITH RED CAP 1' EAST OF FENCELINE, WEST SIDE OF SITE.

SANKEY SUMMIT PHASE 2

PRELIMINARY PLAT

BONDURANT, IOWA

SNYDER & ASSOCIATES, INC. I

REVISIONS	DATE	BY
2	4-29-20	JMM
1	4-20-20	JMM
MARK	DATE	BY
Engineer: KMM	Checked By: EDC	Scale: 1" = 500'
Technician: JMM	Date: 04-07-20	T-R-S: TTN-RRW-SS
Project No: 119.0910.01		
Sheet C100		



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Eric D. Cannon, P.E. _____ Date _____
License Number P18954
My License Renewal Date is December 31, 2021
Pages or sheets covered by this seal: _____

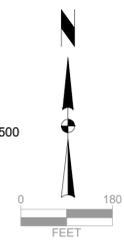
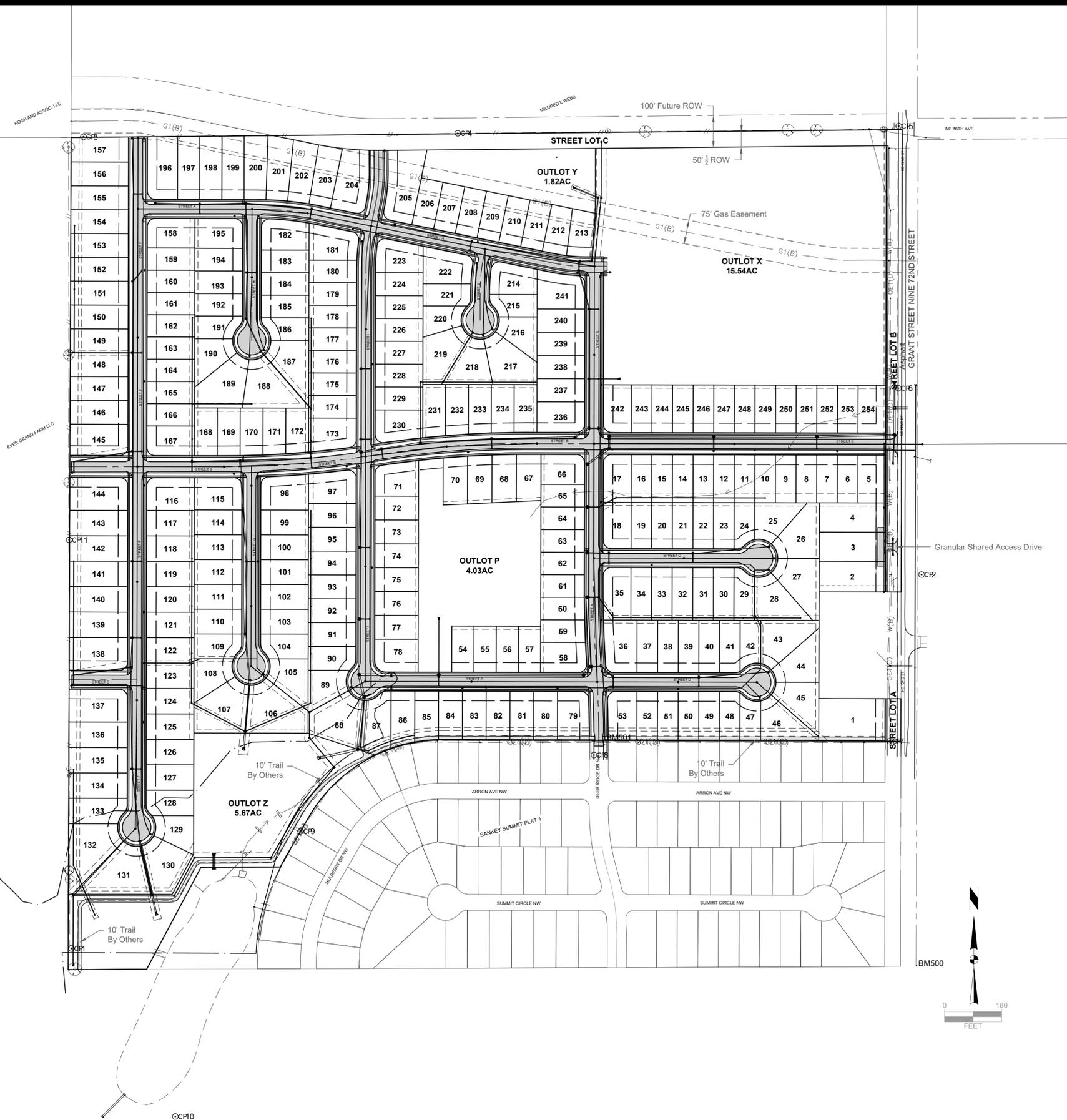


Project No: 119.0910.01

Sheet C100

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SANKEY SUMMIT PHASE 2

PRELIMINARY PLAT-OVERALL SITE LAYOUT

BONDURANT, IOWA

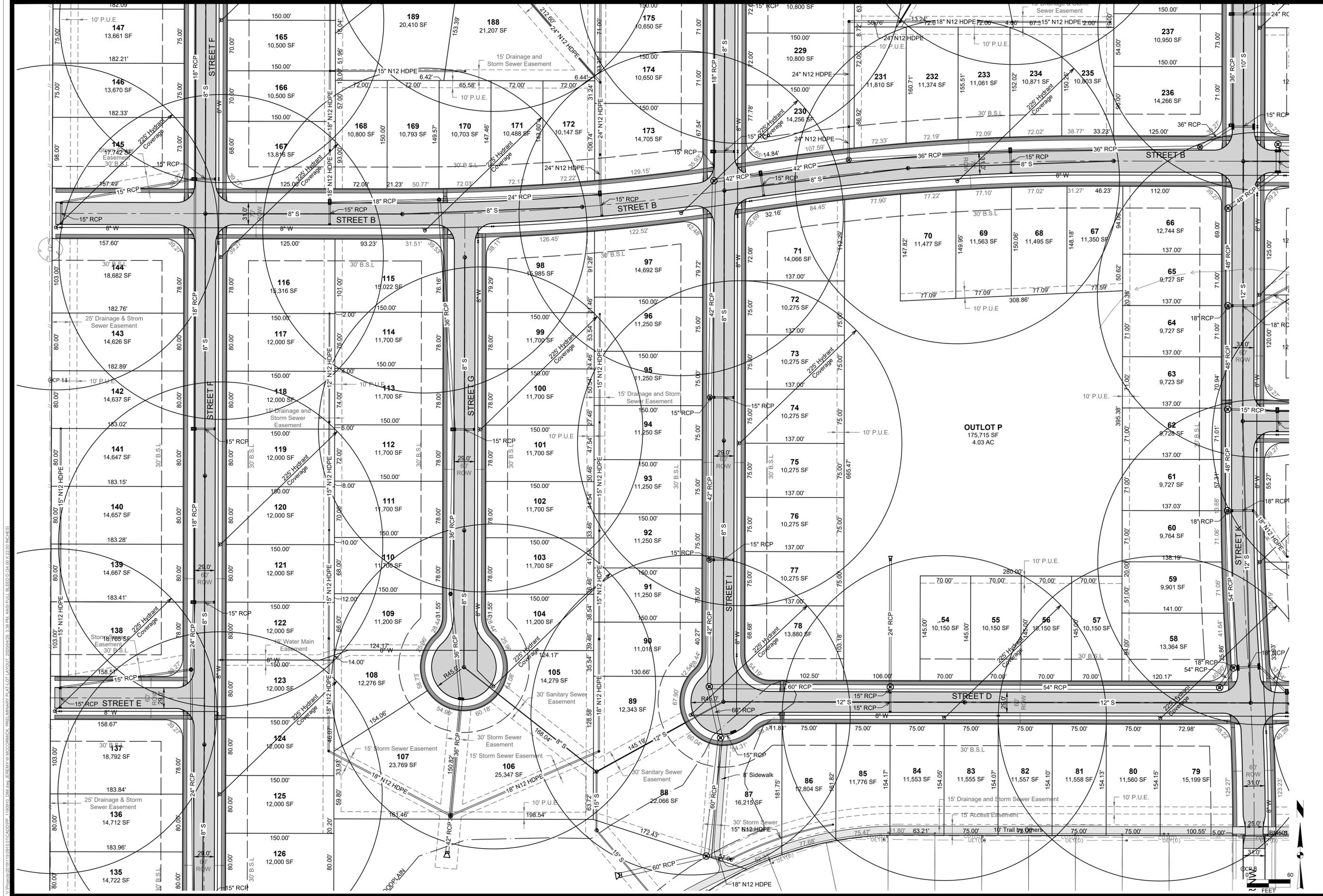
SNYDER & ASSOCIATES, INC. I



Project No: 119.0910.01

Sheet C101

2	REVISED AS PER CITY COMMENTS	4-29-20	JMM
1	REVISED AS PER CITY COMMENTS	4-20-20	JMM
MARK	REVISION	DATE	BY
Engineer: KMM	Checked By: EDC	Scale: 1" = 180'	
Technician: JMM	Date: 04-07-20	T-R-S: TTN-RRW-SS	
Project No: 119.0910.01			Sheet C101



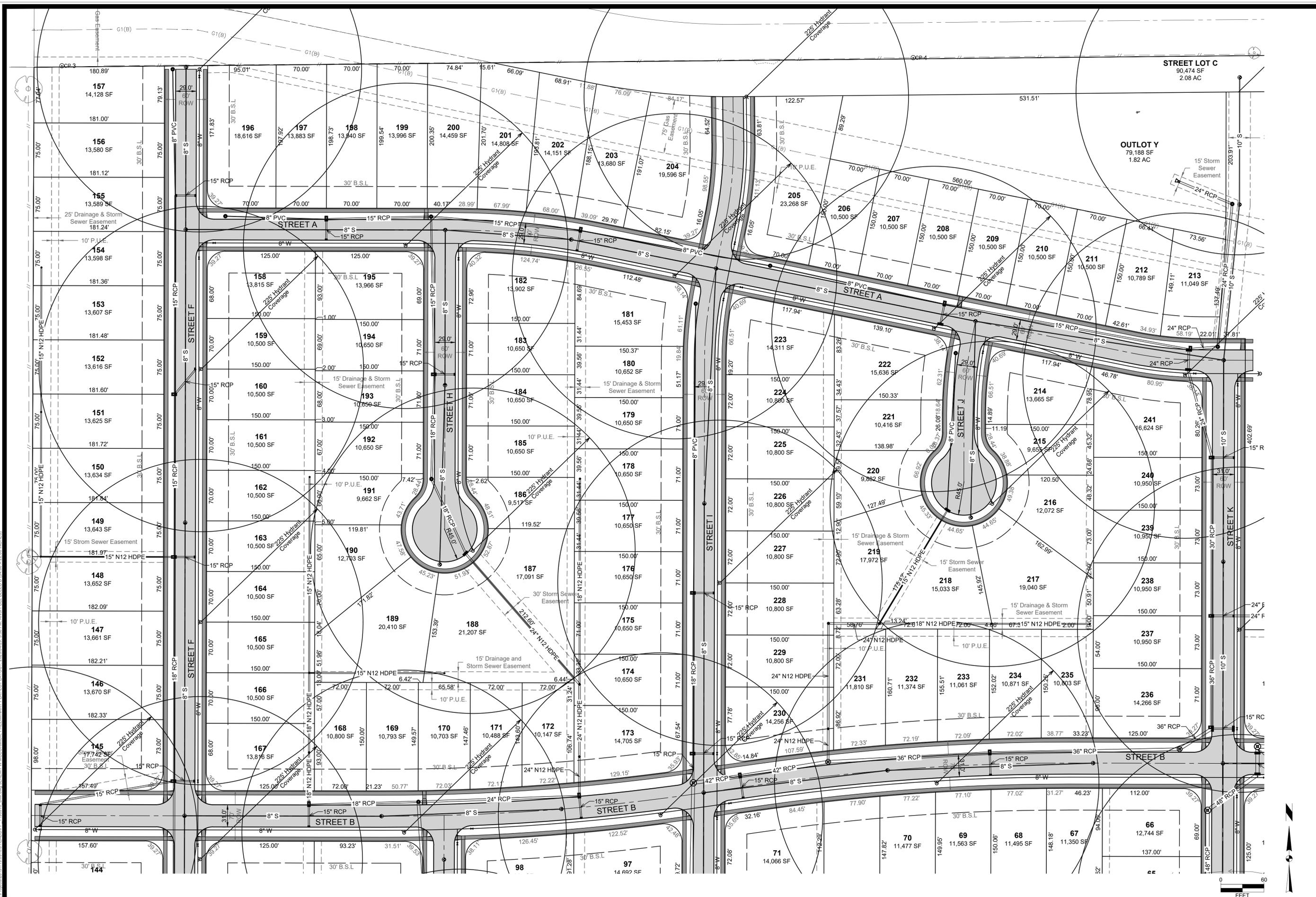
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MARK	REVISION	DATE	BY
Engineer: KMM	Checked By: EDC	Date: 04-07-20	T-R-S: TTN-RRW-SS
Technician: JMM			
Project No:	119.0910.01		
Sheet	C201		

BONDURANT, IOWA

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 ANKENY, IOWA 50023
 515-964-2020 | www.snyder-associates.com

SANKEY SUMMIT PHASE 2
PRELIMINARY PLAT-LOT LAYOUT
SNYDER & ASSOCIATES, INC.



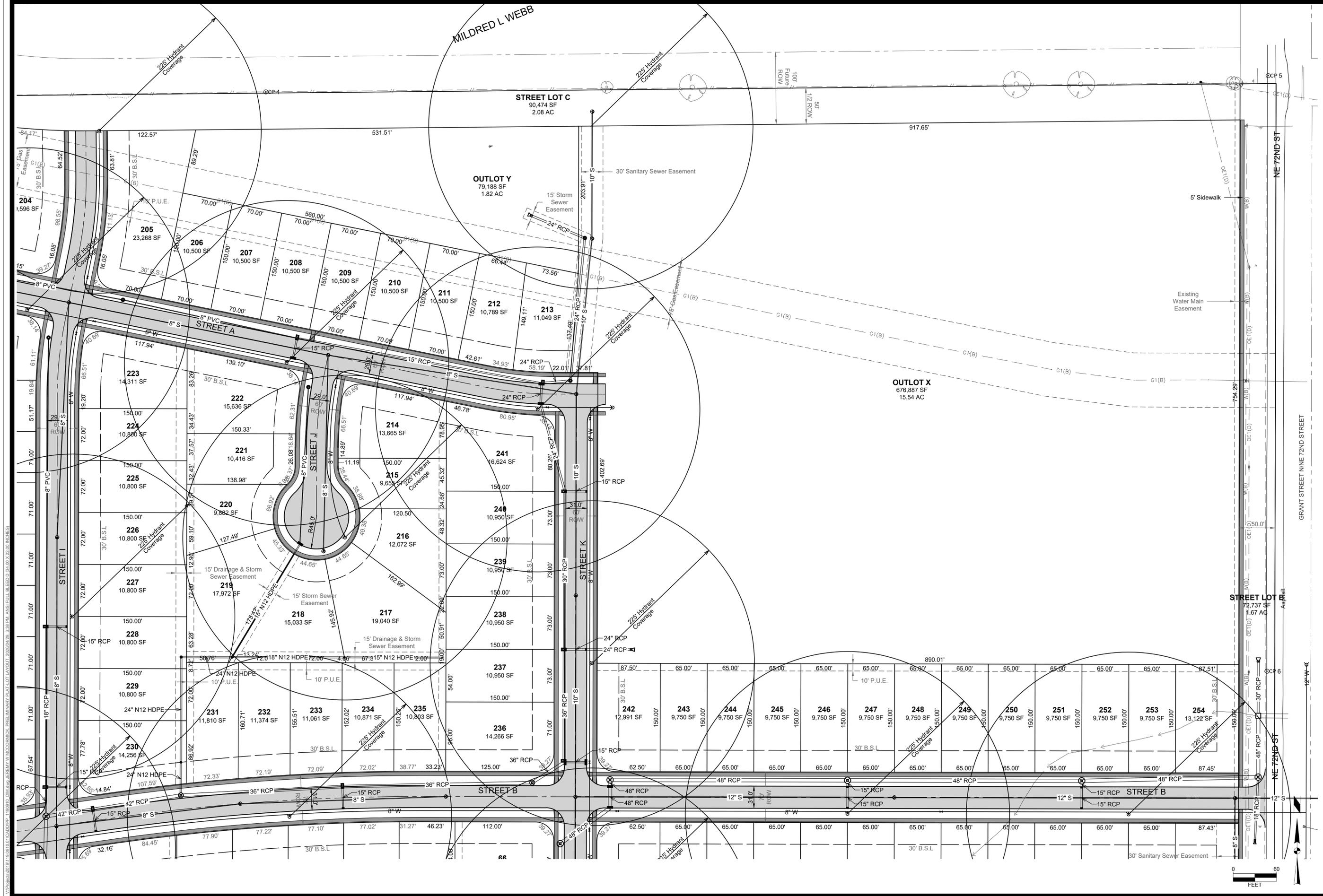


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1	REVISED AS PER CITY COMMENTS	4-20-20	JMM
	REVISION	DATE	BY
Engineer:	KMM	Checked By:	EDC
Technician:	JMM	Date:	04-07-20
		Scale:	1" = 60'
			T-R-S: TTN-RRW-SS
		Project No:	119.0910.01
			Sheet C202

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SNYDER & ASSOCIATES, INC.

Project No: 119.0910.01
 Sheet C202



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2	REVISED AS PER CITY COMMENTS	4-29-20	JMM
1	REVISED AS PER CITY COMMENTS	4-20-20	JMM
MARK	REVISION	DATE	BY
Engineer: KMM	Checked By: EDC	Scale: 1" = 60'	
Technician: JMM	Date: 04-07-20	T-R-S; TTN-RRW-SS	
Project No: 119.0910.01			Sheet C204

SANKEY SUMMIT PHASE 2

PRELIMINARY PLAT-LOT LAYOUT

SNYDER & ASSOCIATES, INC. I

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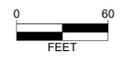
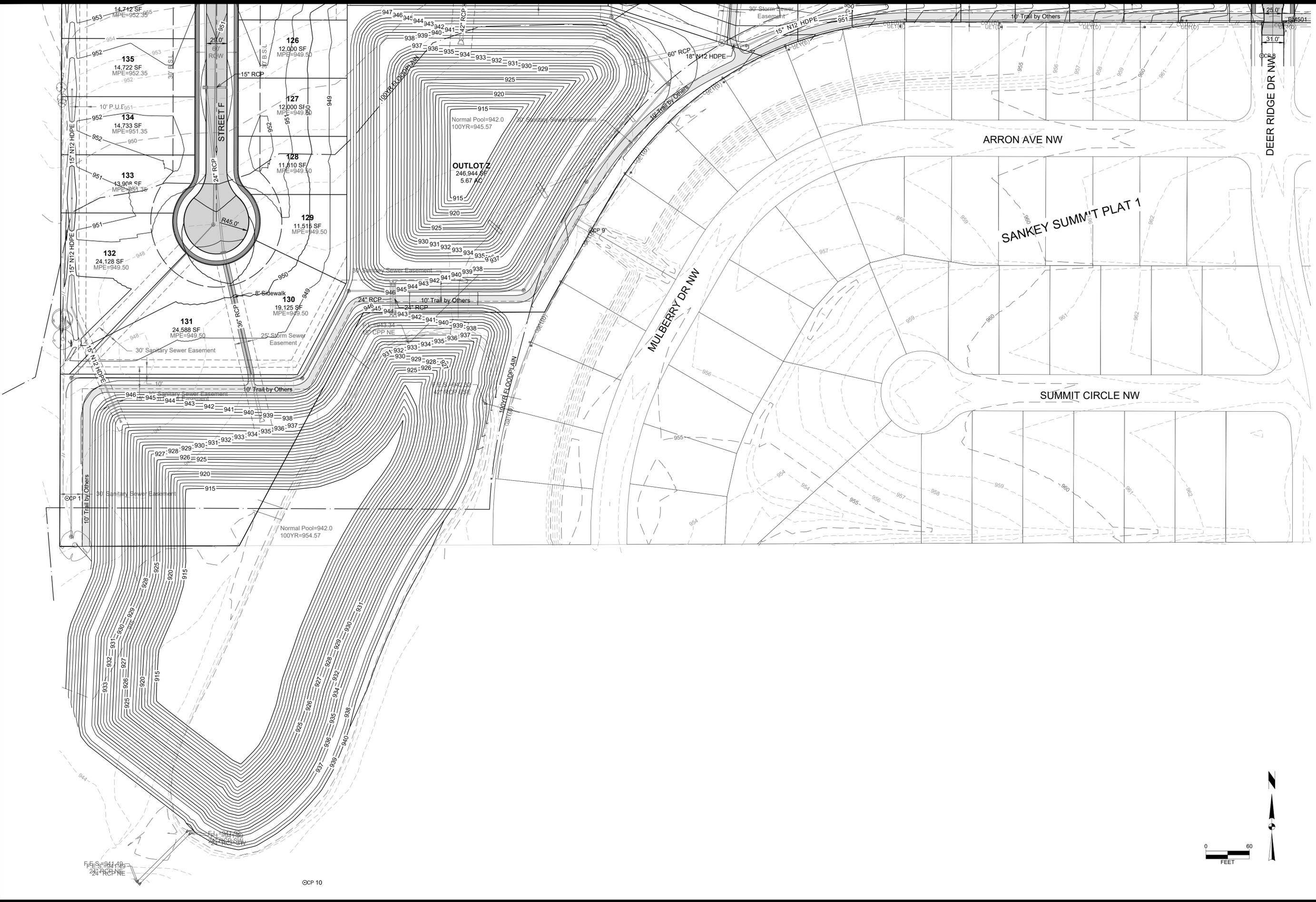


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Project No: 119.0910.01
 Sheet C204



V:\Projects\20111011\101101\CADD\PP - 1190910_GRA.DWG JEREMY W MCCORMACK - PRELIMINARY PLAT-GRADING PLAN, 2020/04/20, 3:38 PM, ANSI FULL BLEED D (34.00 X 22.00 INCHES)



GCP 10

2	REVISED AS PER CITY COMMENTS	4-29-20	JWM
1	REVISED AS PER CITY COMMENTS	4-20-20	JWM
MARK	REVISION	DATE	BY
Engineer: KMM	Checked By: EDC	Scale: 1" = 60'	
Technician: JWM	Date: 04-07-20	T-R-S: TTN-RRW-SS	
Project No: 119.0910.01			Sheet C300

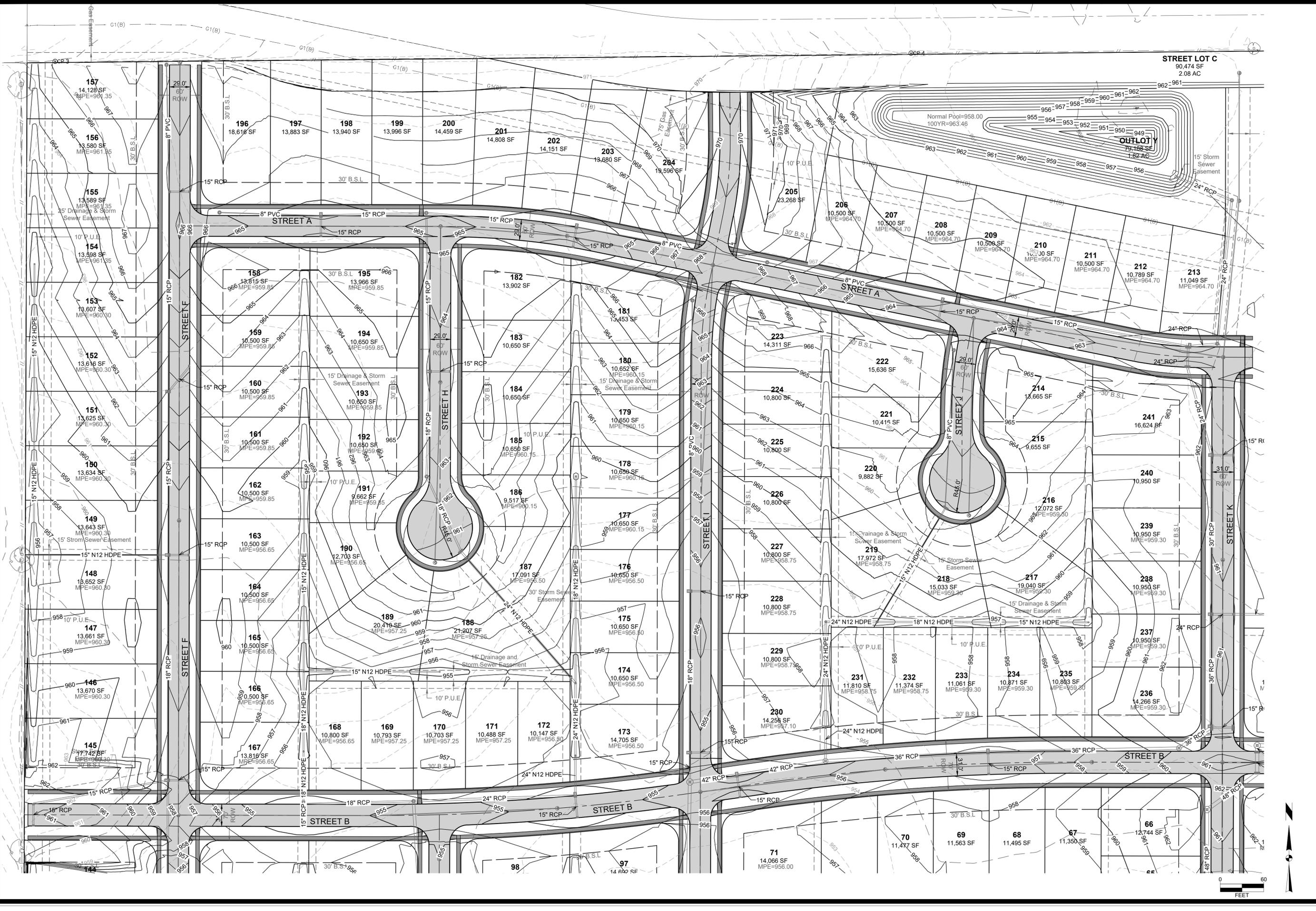
SANKEY SUMMIT PHASE 2
PRELIMINARY PLAT-GRADING PLAN
BONDURANT, IOWA
SNYDER & ASSOCIATES, INC. I

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Project No: 119.0910.01
 Sheet C300

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2	REVISED AS PER CITY COMMENTS	4-29-20	JWM
1	REVISED AS PER CITY COMMENTS	4-20-20	JWM
	REVISION	DATE	BY
MARK	Engineer: KMM	Checked By: EDC	Scale: 1" = 60'
	Technician: JWM	Date: 04-07-20	T-R-S; TTN-RRW-SS
Project No: 119.0910.01			Sheet C302

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 ANKENY, IOWA 50023
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SANKEY SUMMIT PHASE 2
PRELIMINARY PLAT-GRADING PLAN
SNYDER & ASSOCIATES, INC.

SNYDER & ASSOCIATES

Project No: 119.0910.01
 Sheet C302

