



**BUSINESS OF THE CITY COUNCIL  
BONDURANT, IOWA  
AGENDA STATEMENT**

Item No. 15a  
For Meeting of 4/6/2020

**TITLE:** Resolution of support for a potential minor Zoning Code text amendment to Section 179.01.2.2.b.5.a regarding eliminating the minimum roof slope requirement for multi-family and townhome structures.

**ACTION:** Resolution for vote on April 6<sup>th</sup>, 2020

**CONTACT PERSON:** Maggie Murray, Planning & Community Development Director

**BRIEF HISTORY & Analysis:**

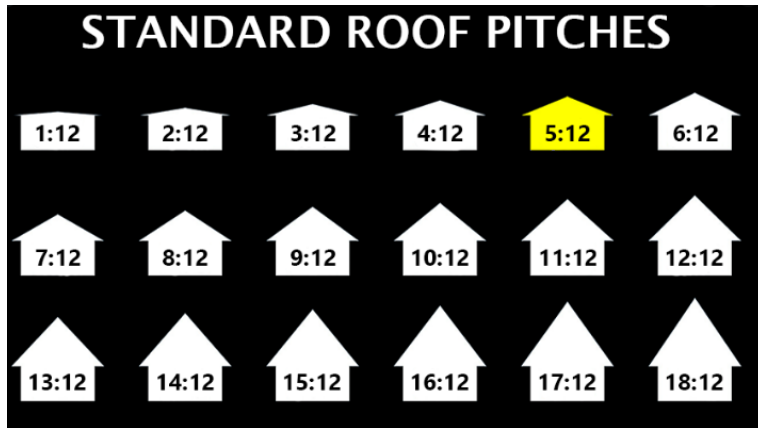
The resolution included as part of this staff report is a resolution of support of an upcoming minor text amendment to the City's Zoning Code. This is a preliminary resolution of support only and is not the amendment ordinance. It is anticipated that the Planning & Zoning Commission will hold a public hearing on April 23<sup>rd</sup>, 2020 to consider a proposed text amendment to Section 179.01.2.2.b.5.a of the City's Zoning Code. Following this Planning & Zoning Commissions public hearing, it is anticipated that City Council will hold a public hearing on this same topic during their meeting on May 4<sup>th</sup>, 2020.

Section 179.01.2.2.b.5.a currently regulates minimum roof slope requirements for all multi-family and townhome buildings in Bondurant (except for any residential uses in the General Commercial District). The current verbiage of Section 179.01.2.2.b.5.a reads as follows:

- a. All multi-family and townhome buildings shall have a pitched roof with a minimum roof slope of 5:12.*

This minimum roof slope requirement was adopted by the City in 2007 when architectural standards were established for multi-family uses, commercial uses, and industrial uses.

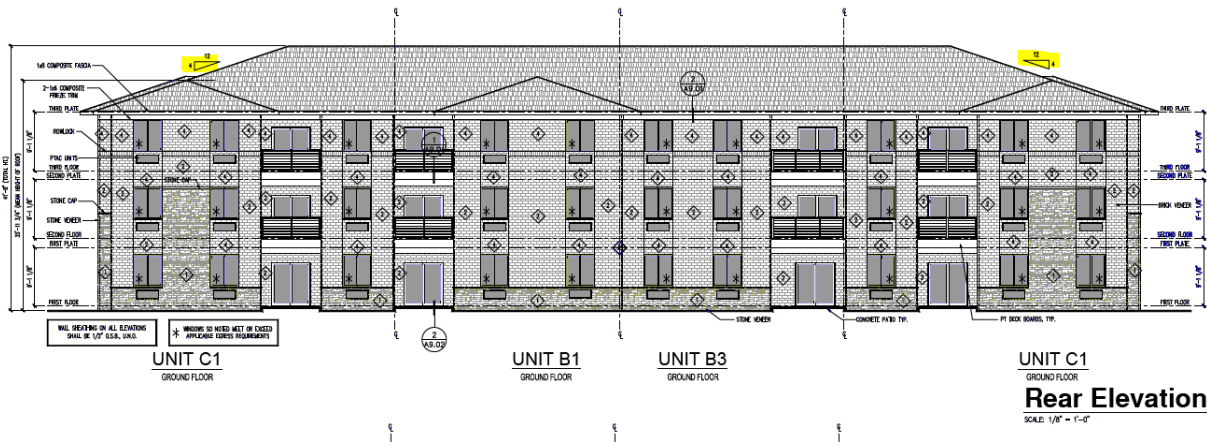
Below is a graphic which shows what a 5:12 roof slope looks like:



Source: <https://www.sheffieldmetals.com/About-SMI/News/standing-seam-vs-exposed-fastener-metal-roofing>

Planning staff is proposing that this section regulating minimum roof slope be eliminated altogether. A building permit was received in March 2020 for the second apartment complex building in the Park Side Plat 2 subdivision. The architectural elevations submitted as part of this building permit, shown below, show a proposed 4:12 roof slope, which does not meet the minimum 5:12 slope requirement. This minimum roof slope requirement was inadvertently overlooked by the City as part of the September 2019 building permit approval for the first apartment complex building in this Park Side Plat 2 subdivision which also has a 4:12 roof slope. For consistency purposes, the City’s roof slope requirement either needs to be removed or at least reduced to 4:12. In fairness to the developer, staff has prepared this resolution of support to help jumpstart this text amendment process.

Elevations from March 2020 Building Permit Submittal:



Jason VanAusdall, City Building Official with V&K, noted that 4:12 is a common roof slope for apartment complex buildings. Jason noted that there is no International Building Code justification for why the City of Bondurant regulates minimum roof slope requirements as part of its Zoning Code.

Planning staff would also like to note that elimination of this minimum roof slope requirement will now allow for the option for potential construction of a flat apartment building, such as the example shown below:



Source: <https://www.sherman-associates.com/uncategorized/downtown-des-moines-first-market-rate-senior-housing-building-planned-for-grays-landing/>


This minimum roof slope item is the only design element proposed for elimination. The City still has several other design regulations in place, such as minimum hard surface material requirements (brick, stone, and windows) and requirements relative to building mass and form.

Eventual adoption of this potential text amendment after the May 4<sup>th</sup> City Council public hearing will not be contrary to the City’s Comprehensive Plan, as there are no objectives of this Plan which recommend continued regulation of the City’s minimum roof slope requirements for multi-family development.

**PLANNING AND ZONING COMMISSION REVIEW/RECOMMENDATION**

The Planning & Zoning Commission will review this text amendment topic during their meeting on April 23<sup>rd</sup>, 2020. An update of this meeting will be provided in the May 4<sup>th</sup> City Council staff report.

**ALTERNATIVES:** The option exists for City Council not to approve the enclosed resolution of support.

<input checked="" type="checkbox"/> Resolution            _____ Ordinance            _____ Contract            _____ Other (Specify) _____
Funding Source            _____ N/A _____
APPROVED FOR SUBMITTAL            _____ <div style="text-align: center; margin-top: 10px;">             City Administrator         </div>

**STAFF RECOMMENDATION:** Staff recommends approval of the resolution of support.

CITY OF BONDURANT  
RESOLUTION NO. 200406-105

RESOLUTION OF SUPPORT FOR AN UPCOMING MINOR TEXT AMENDMENT TO SECTION 179.01.2.2.b.5.a  
OF THE CITY'S ZONING CODE REGARDING ELIMINATING THE MINIMUM ROOF SLOPE REQUIREMENT  
FOR MULTI-FAMILY & TOWNHOME STRUCTURES

WHEREAS, this is preliminary resolution of support only and is being considered by Council on April 6<sup>th</sup> for predictability and consistency purposes;

WHEREAS, it is anticipated that the Bondurant Planning & Zoning Commission will hold a public hearing to consider this text amendment topic during their regular meeting on April 23<sup>rd</sup>, 2020; and

WHEREAS, it is anticipated that the Bondurant City Council will hold a public hearing to consider this text amendment topic during their regular meeting on May 4<sup>th</sup>, 2020;

NOW, THEREFORE, BE IT RESOLVED that the Bondurant City Council offers its preliminary support of the upcoming text amendment to Section 179.01.2.2.b.5.a as outlined in the April 6<sup>th</sup> staff report and hereby authorizes City Staff to move forward with scheduling the public hearings as planned;

Passed and approved by the City Council of the City of Bondurant, Iowa, this 6<sup>th</sup> day of April, 2020.

By: \_\_\_\_\_  
Curt Sullivan, Mayor

ATTEST: I, Shelby Hagan, City Clerk of Bondurant, hereby certify that at a meeting of the City Council held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand the day and year above written.

\_\_\_\_\_  
Shelby Hagan, City Clerk

Name	Yay	Nay	Abstain	Absent
Cox				
Elrod				
Enos				
McKenzie				
Peffer				