

From: Maggie Murray, Planning & Community Development Director
To: Planning & Zoning Commission
Request: Site Plan Review – Library Addition at 104 2nd Street NE
Action: For P&Z recommendation on June 9th, 2020

Brief History:

The City of Bondurant is in receipt of a site plan for review by the Planning and Zoning Commission and City Council for the proposed Bondurant Community Library addition project at 104 2nd Street NE. The existing library building is 7,239 SF. This addition project will include additions in the south, east, and northwest areas of the building. These three addition areas will total 7,371 SF, so once completed, the total library square footage will be 14,610 SF. The existing structures at 100 2nd Street NE (former bank building, owned by City) and 106 2nd Street NE (current post office, owned by City) are going to be demolished to allow for this additional and parking lot project to occur. Below is an aerial map which shows the existing site – the highlighted yellow represents the estimated library addition areas.

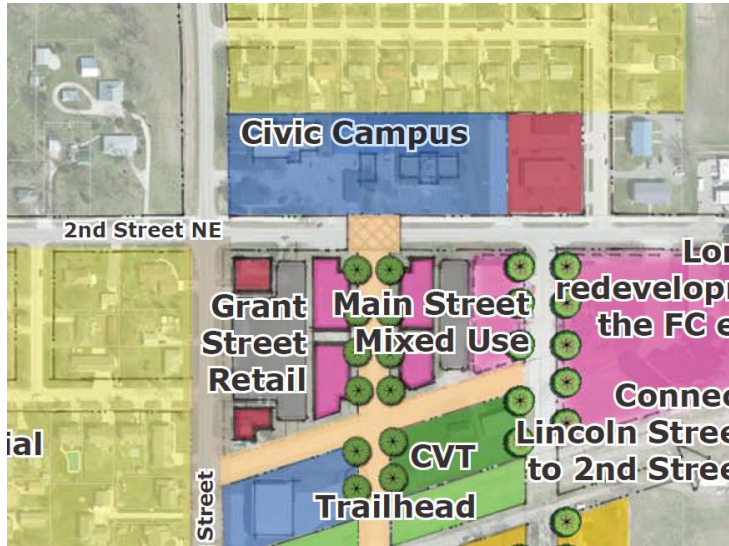


When the Planning and Zoning Commission and City Council reviews site plans, they review for consistency with the following documents: Comprehensive Plan; Zoning Code; and Comments from City Officials.

Analysis:

Consistency with the City's Comprehensive Plan:

The library addition use proposed is consistent with the Comprehensive Plan, as the Comprehensive Plan identifies City Hall and the Bondurant Community Library as being a civic campus area. Below is a use concept map pulled from the Comprehensive Plan:



Consistency with the City's Zoning Code:

Below are notes detailing how Zoning Code compliancy is met for this development:

- The Bondurant Community Library site is zoned as being within the City's General Commercial (C-2) District. A library is a permitted use of the Transitional Commercial (C-1) District. All uses of the C-1 District are permitted within the C-2 District.
- When performing the survey work at this location, it was noted that a 100' south setback exists at this property due to a subdivision from the 1970's which established this setback. The City is in the process of creating a plat of survey to eliminate this 100' setback and to instead require that the minimum front yard setbacks at this location be consistent with the current Zoning Code requirements of 30'. Once this plat of survey is completed, the minimum setbacks as required by Section 178.08.4 will be met for this project. The proposed building setbacks proposed will be: 25' from the rear north property line, 41' from the west front property line, and 30' from the south front property line. Since no residential uses exist immediately east of this property, there is no minimum east side yard setback.
- Section 177.09. of the Zoning Code regulates minimum parking stall count requirements. No parking stall count requirement is listed for a library use or any uses similar to a library use. This section of the Zoning Code notes that if a use is not listed in the parking section, then the City Administrator is authorized to determine the parking requirements using a similar use as a guide. 25 parking stalls will exist as a result of this project in the area south of the addition, and new 10 parking stalls will exist as a result of this project in the area east of this addition area. Jill Sanders, Library Director, and Marketa Oliver have reviewed the proposed parking stall counts and have noted that what is proposed meets the minimum counts needed for the Bondurant Community Library's accreditation.
- 13 of the new parking stalls will be permeable pavers to help with stormwater management. V&K designed the parking lot work.
- This project will include eliminating two curb cuts along 2nd Street NE and one curb cut along Grant Street North. Once completed, patrons of the Bondurant Community Library will utilize

the existing curb cut along 2nd Street NE located on the west side of City Hall. This existing curb cut aligns with Main Street NE to the south.

- While not directly related to the Bondurant Community Library addition project, just a note that the City of Bondurant will be having turn lanes installed along the 2nd Street NE/NW corridor in this area. This Bondurant Community Library addition project is not in conflict with the turn lane project.
- Section 179.01.2.I.1 of the Zoning Code notes that dumpsters should have adequate screening from the public right-of-way areas. A dumpster enclosure is proposed toward the rear of the new parking lot area east of the addition area. This dumpster enclosure will be masonry to match City Hall's masonry.
- Page C4 of the submitted site plan shows the required utility connection plan. The existing sanitary and water services will be used. A new 6" fire suppression/sprinkler service line will connect into the addition area.
- Page C5 of the submitted site plan shows the required landscaping plan. This plan notes that all new trees will remain at least 4' away from the 2nd Street NE and Grant Street North property lines; this is a requirement of the Zoning Code. Due to the existing street frontages of this Bondurant Community Library site, at least 16 trees are required at this location. The landscaping plan takes this minimum tree count into account. Several existing mature trees will also be preserved where possible. The types of landscaping proposed will be determined by the Library Foundation. There is a drainage flowage easement that exists along the rear property lien – this may need to be taken into account depending on the scope of the screening proposed in this area.
- The required elevations have been submitted as part of the site plan submittal. From just a quick review, staff sees no concerns. A full review of these elevations will be done prior to the June 11th meeting. Staff will make note if there are any comments/concerns with these elevations as they relate to the City's Overlay District design/material requirements.
- A photometric plan and manufacturer's lighting specifications have been submitted for the parking lot lighting. Such lighting will be full cutoff, which will help ensure that no lighting will be directed toward any nearby residential uses. This is a requirement of Section 177.10.3 of the Zoning Code. The site plan also notes that all non-decorative building lighting will also be full cutoff wall packs.

Comments from City Officials:

The following City departments were notified of the submitted Kum & Go site plan:

- **City Engineering** – V&K submitted the site plan.
- **Public Works** – no comments received.
- **Fire Department** – reviewed and noted no Fire Code concerns.

Alternatives:

The following options exist for the Planning & Zoning Commission:

1. Recommended approval of the submitted Bondurant Community Library addition site plan.

2. Recommended approval of the submitted Bondurant Community Library addition site plan, subject to Zoning Code clarification items as recommended by the Commission.
3. Recommended denial of the submitted Bondurant Community Library addition site plan.
4. Table the review pending additional information.

Staff Conclusions/Recommendations:

Subject to comments received from the public during the P&Z and Council meetings, staff recommends approval of the submitted Bondurant Community Library site plan.

1. That this site plan approval is contingent upon a plat of survey being created which notes that the setback along 2nd Street NE will be 30' instead of the 100' noted as part of a historic subdivision of the area.
2. That the screening proposed along the north property line shall adhere to any drainage flowage easement requirements, if applicable.

PLANNING AND ZONING COMMISSION
RESOLUTION NO. PZ-2000609-26

RESOLUTION REGARDING RECOMMENDED APPROVAL OF THE BONDURANT COMMUNITY LIBRARY
ADDITION SITE PLAN AT 104 2nd STREET NE

WHEREAS, FEH Design and Veenstra & Kim submitted the Bondurant Community Library addition site plan; AND

WHEREAS, the owner/developer is the City of Bondurant; AND

WHEREAS, the site address is 104 2nd Street NE; AND

WHEREAS, the zoning for the property is General Commercial (C-2); AND

NOW, THEREFORE, BE IT RESOLVED, that the Planning & Zoning Commission recommends approval of the submitted Bondurant Community Library addition project at 104 2nd Street NE , subject to the following Code/Policy recommendations:

1. That this site plan approval is contingent upon a plat of survey being created which notes that the setback along 2nd Street NE will be 30' instead of the 100' noted as part of a historic subdivision of the area.
2. That the screening proposed along the north property line shall adhere to any drainage flowage easement requirements, if applicable.

Moved by _____, Seconded by _____ to adopt.

ATTEST: I, Maggie Murray, Planning & Community Development Director, City of Bondurant, hereby certify that at a meeting of the Planning and Zoning Commission held on June 9, 2020; among other proceedings the above was recommended.

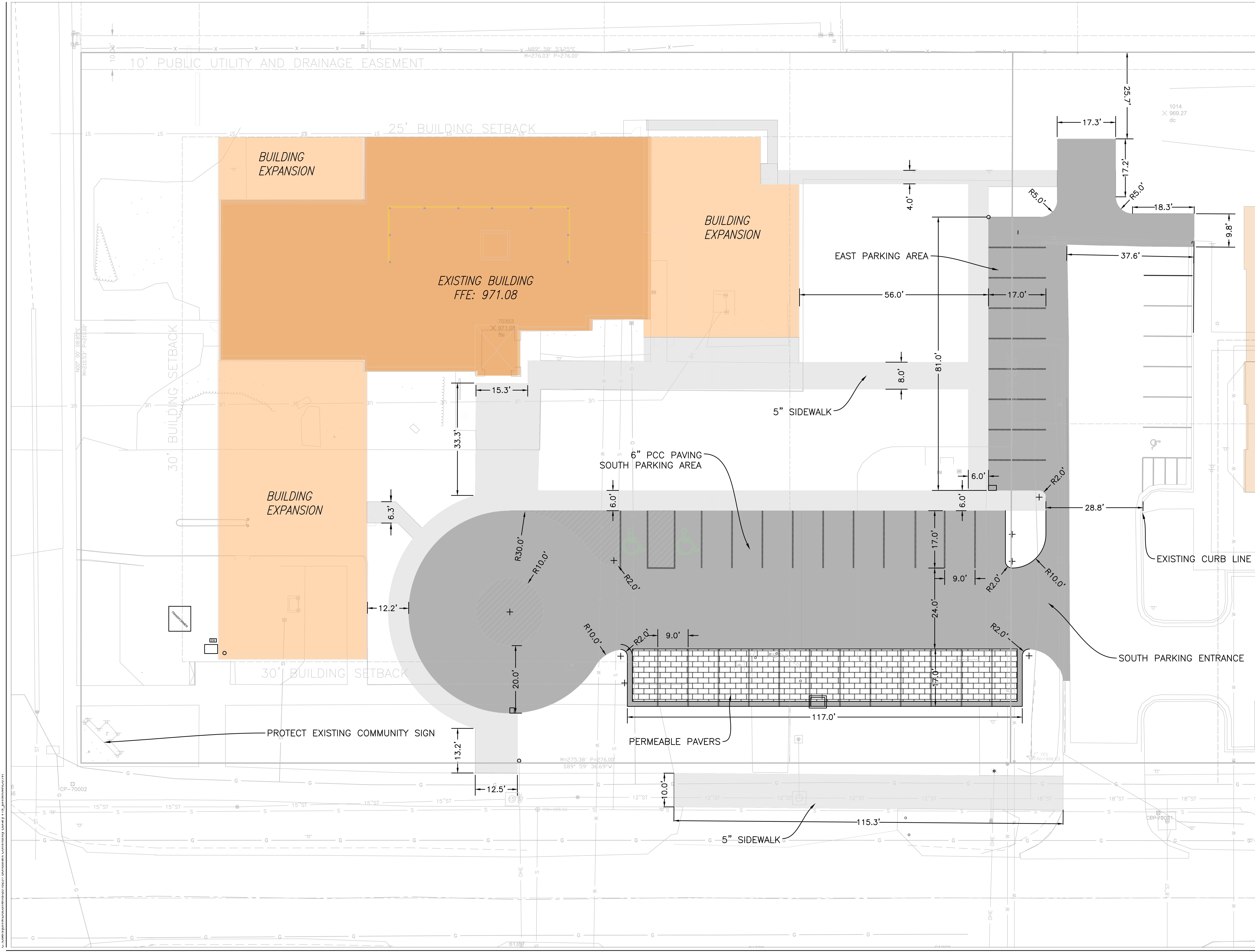
IN WITNESS WHEREOF, I have hereunto set my hand the day and year above written.

Maggie Murray, Planning & Community Development Director

Action	Yay	Nay	Abstain	Absent
Hoffman-Zinnel				
Clayton				
Mains				
Keeran				
Cuellar				
Phearman				

Brostrom				
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Torey Cuellar, Commission Chair



SHEET TITLE
SITE PLAN

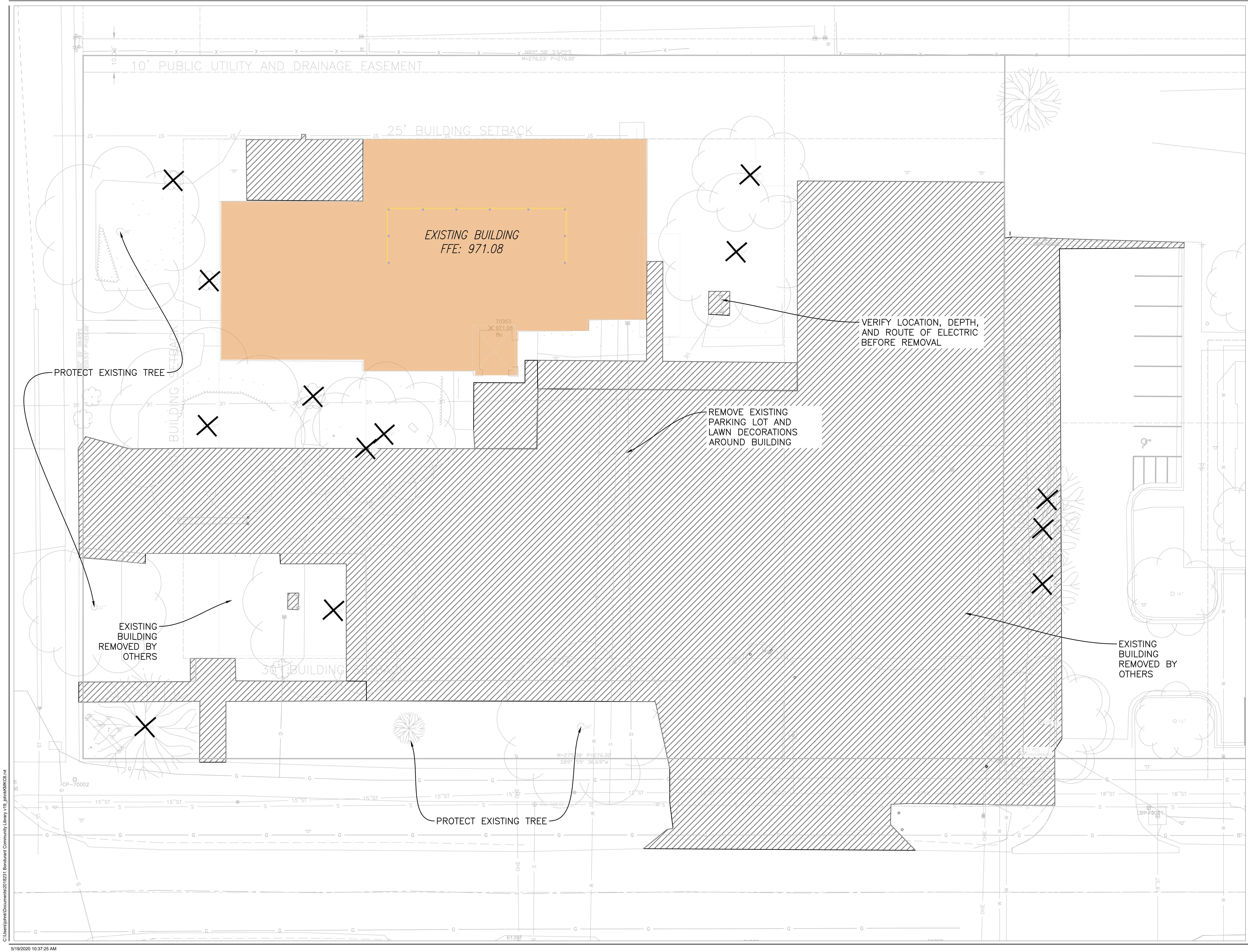
PROJECT TITLE
**City of Bondurant
 BONDURANT COMMUNITY LIBRARY
 EXPANSION**
 104 2nd St. NE, Bondurant, IA 50035

DATE ISSUED 05-26-2020
 REV. NO. DATE

PROJECT NUMBER
 2018231.02

SHEET

C1



FEH DESIGN

SIOUX CITY, IA
(712) 262-3889

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(515) 288-2000

DUBUQUE, IA
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ECONOMOVOC, WI
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SHEET TITLE
REMOVALS

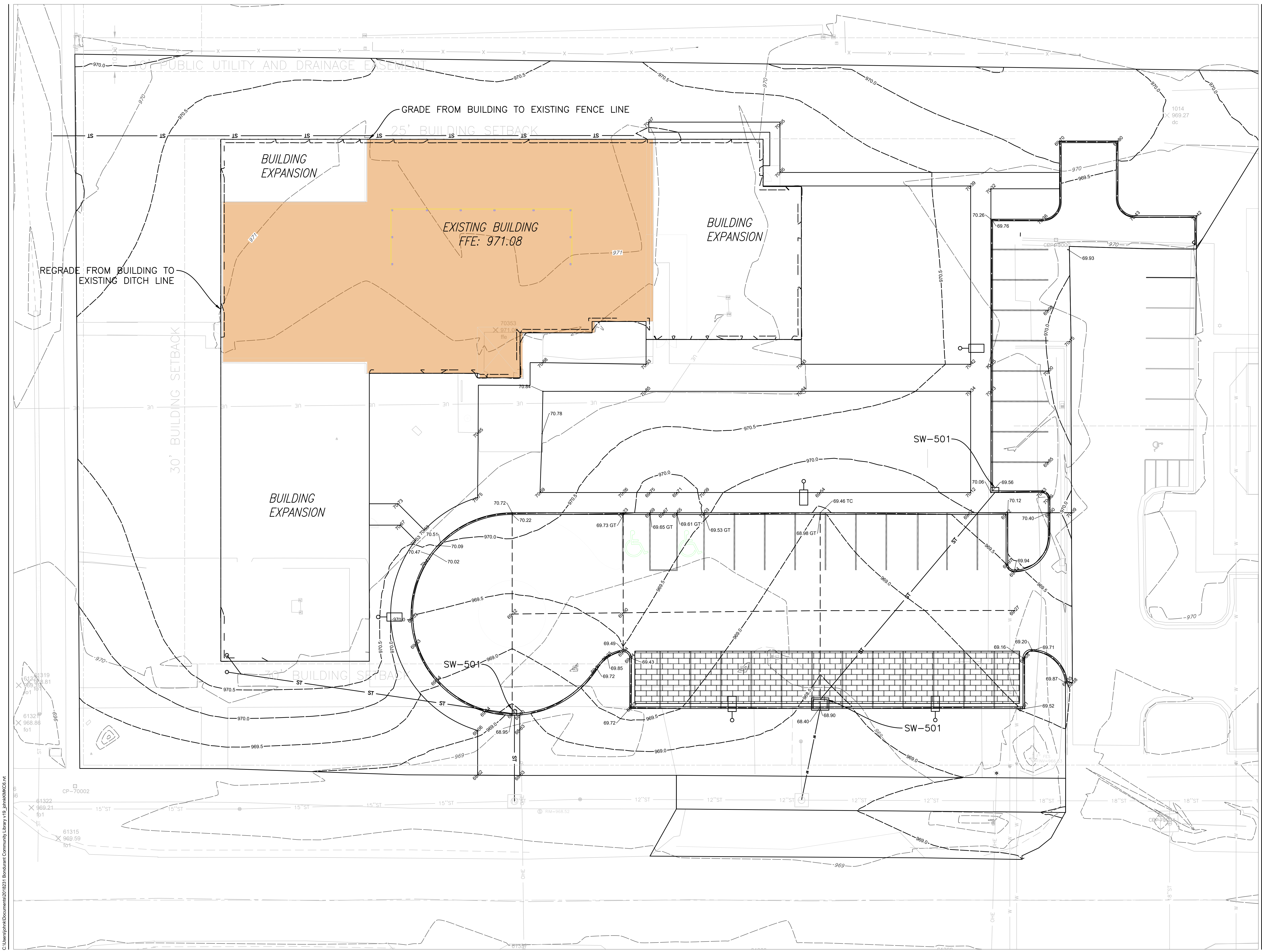
PROJECT TITLE City of Bondurant
**BONDURANT COMMUNITY LIBRARY
EXPANSION**
104 2nd St. NE, Bondurant, IA 50035

DATE ISSUED 05-26-2020
REV. NO. DATE

PROJECT NUMBER
2018231.02

SHEET
C2


C:\Users\johnd\Documents\2018231 Bondurant Community Library v19_johndk\mk06.rvt
5/19/2020 10:37:25 AM



C:\Users\jshk\Documents\2018231 Bondurant Community Library v19_jshk\MKDC1.rvt

5/19/2020 10:37:25 AM

FEH DESIGN



SIOUX CITY, IA (712) 252-3869
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IN ASSOCIATION WITH



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3000 Westown Parkway,
 West Des Moines, Iowa
 515-225-8000
 515-225-7848 (FAX)

SHEET TITLE
GRADING PLAN

PROJECT TITLE
BONDURANT COMMUNITY LIBRARY EXPANSION
104 2nd St. NE, Bondurant, IA 50035

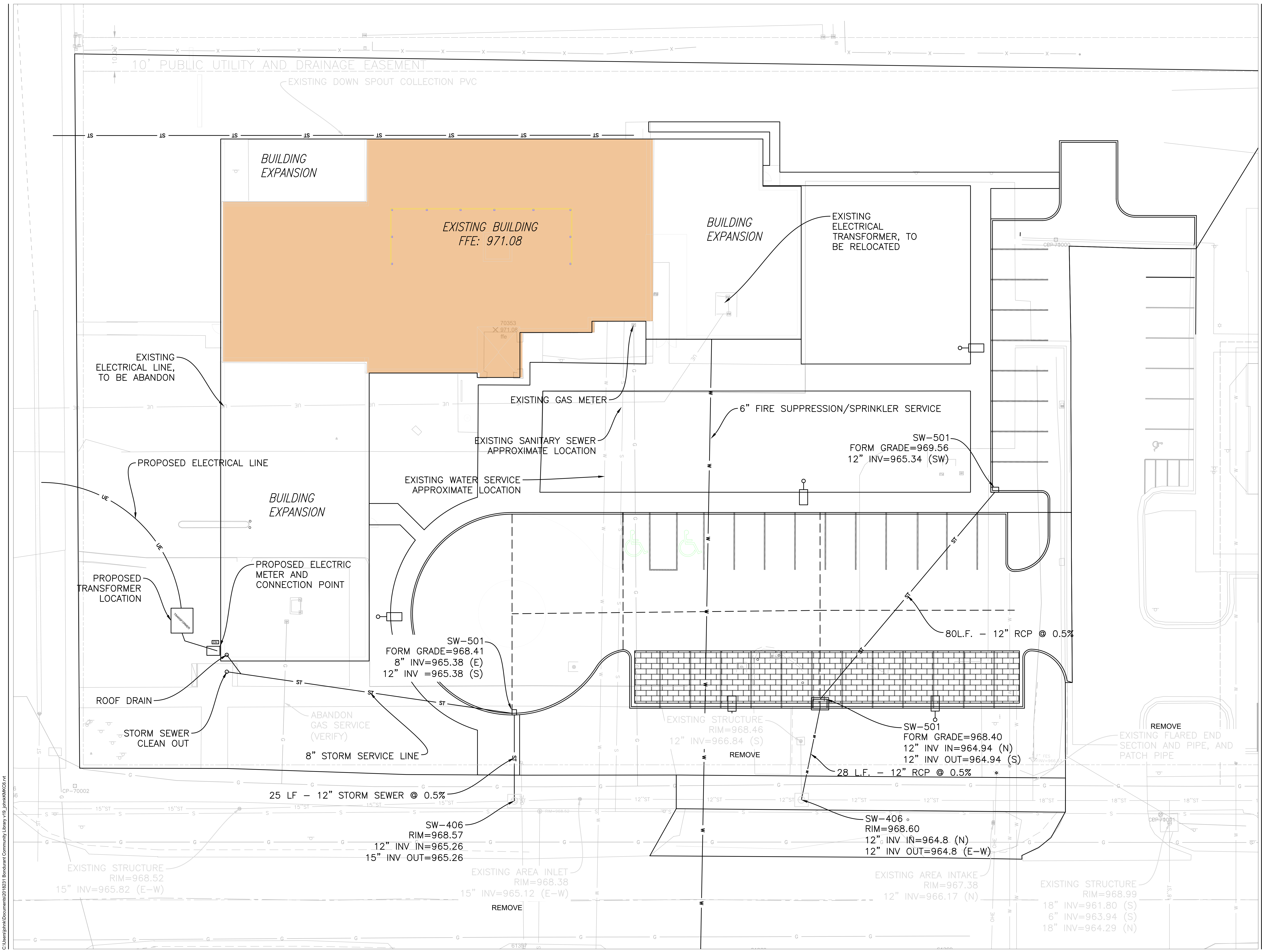
DATE ISSUED 05-26-2020
REV. NO. DATE

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2018231.02


SHEET

C3

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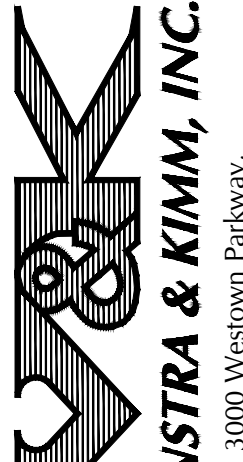
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SHEET TITLE
UTILITY PLAN

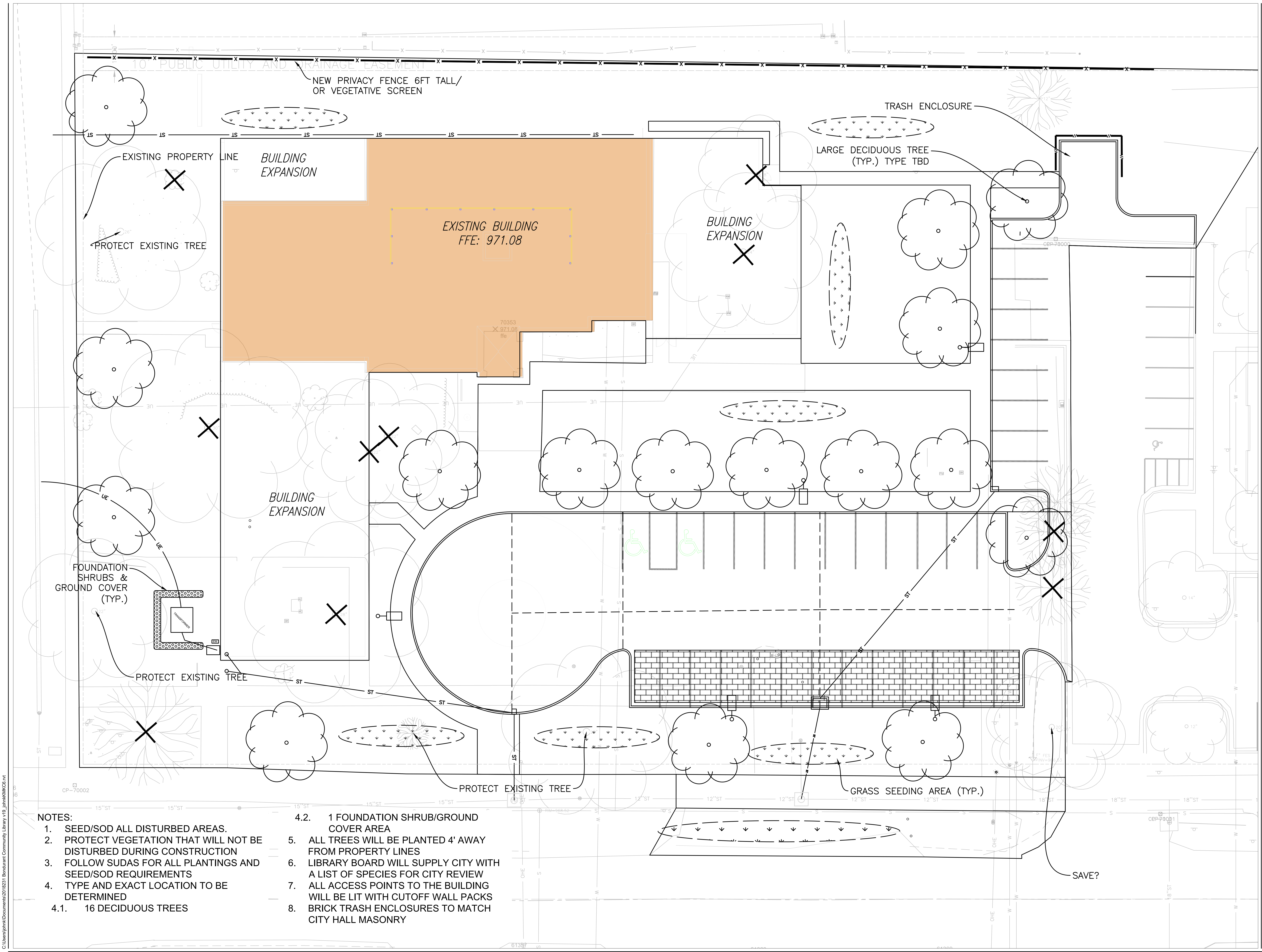
PROJECT TITLE
**CITY OF BONDURANT
BONDURANT COMMUNITY LIBRARY
EXPANSION**

104 2nd St. NE, Bondurant, IA 50035

DATE ISSUED 05-26-2020
REV. NO. DATE

PROJECT NUMBER
2018231.02

SHEET
C4



- NOTES:**
1. SEED/SOD ALL DISTURBED AREAS.
 2. PROTECT VEGETATION THAT WILL NOT BE DISTURBED DURING CONSTRUCTION
 3. FOLLOW SUDAS FOR ALL PLANTINGS AND SEED/SOD REQUIREMENTS
 4. TYPE AND EXACT LOCATION TO BE DETERMINED
- 4.1. 16 DECIDUOUS TREES

- 4.2. 1 FOUNDATION SHRUB/GROUND COVER AREA
5. ALL TREES WILL BE PLANTED 4' AWAY FROM PROPERTY LINES
 6. LIBRARY BOARD WILL SUPPLY CITY WITH A LIST OF SPECIES FOR CITY REVIEW
 7. ALL ACCESS POINTS TO THE BUILDING WILL BE LIT WITH CUTOFF WALL PACKS
 8. BRICK TRASH ENCLOSURES TO MATCH CITY HALL MASONRY

LANDSCAPE PLAN

BONDURANT COMMUNITY LIBRARY EXPANSION

104 2nd St. NE, Bondurant, IA 50035

PROJECT NUMBER
2018231.02

SHEET
C5

FEH DESIGN

3000 Westown Parkway,
West Des Moines, Iowa
515-225-8000
515-225-7848 (FAX)

IN ASSOCIATION WITH

V&K VEENSTRA & KIMM, INC.

3000 Westown Parkway,
West Des Moines, Iowa
515-225-8000
515-225-7848 (FAX)

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DES MOINES, IA (515) 288-2000
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GENERAL NOTES

- ALL ELEVATIONS ARE TO NAVD(88), NAD (83) IOWA SOUTH COORDINATE SYSTEM, GEOID 12A, IOWA RTN.
- REMOVE AND REPLACE ALL STREET SIGNS AS DIRECTED BY ENGINEER. COST IS INCIDENTAL TO CONSTRUCTION.
- SHAPE ALL DITCHES TO DRAIN AFTER CONSTRUCTION.
- CONFIRM LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES AS REQUIRED TO ELIMINATE CONFLICTS PRIOR TO CONSTRUCTION. ALLOW UTILITY PERSONNEL TO RELOCATE UTILITIES WHERE CONFLICTS OCCUR.
- DO NOT INTERRUPT EXISTING UTILITIES OR INDIVIDUAL SERVICES UNLESS DIRECTED BY ENGINEER.
- LOCATIONS OF CONSTRUCTION LIMIT LINES SHOWN ON PLANS ARE APPROXIMATE. ENGINEER WILL LOCATE CONSTRUCTION LIMITS IN FIELD. CONFINE ALL CONSTRUCTION OPERATIONS, INCLUDING ACCESS TO WORK, TO CONSTRUCTION LIMITS.
- SET MANHOLE COVERS FLUSH WITH PROPOSED GRADES UNLESS OTHERWISE NOTED.
- STATIONING IS ALONG CENTER LINE OF PAVEMENT, UNLESS OTHERWISE NOTED.
- PROTECT UTILITY POLES, LINES AND APPURTENANCES NOT SHOWN FOR RELOCATION.
- RESET ALL PROPERTY PINS DISTURBED BY CONSTRUCTION; PINS RESET BY REGISTERED LAND SURVEYOR; COST IS INCIDENTAL TO CONSTRUCTION.
- PROTECT ALL SURFACING, NOT INDICATED BY SHADING FOR REMOVAL AND REPLACEMENT FROM DAMAGE DURING CONSTRUCTION.
- REPLACE WATER SERVICES IN DIRECT CONFLICT WITH NEW PIPE WITH NEW SERVICES FROM MAIN TO CURB STOP. PLUG EXISTING SERVICE AT MAIN; CONSTRUCT STORM SEWER UNDER EXISTING SERVICES WITH ADEQUATE CLEARANCE.

PROTECTION OF VEGETATION

TREES AND OTHER VEGETATION WHICH MAY BE REMOVED ARE MARKED WITH AN "X" OVER THE APPROPRIATE SYMBOL. FOR EXAMPLE, 12" INDICATES THE REMOVAL OF A 12" TREE. REPLACEMENT, BY CONTRACTOR, OF THESE ITEMS IS NOT REQUIRED. TUNNEL, INSTALL TIGHT SHEETING, HAND EXCAVATE OR EMPLOY OTHER MEANS APPROVED BY ENGINEER TO PROTECT EXPOSED PORTIONS AND ROOT SYSTEMS OF TREES AND OTHER VEGETATION NOT SCHEDULED FOR REMOVAL. IF TREES AND OTHER VEGETATION NOT SCHEDULED FOR REMOVAL ARE DAMAGED DURING CONSTRUCTION, REPLACE IN KIND AND SIZE AT NO COST TO CITY OR PROPERTY OWNER.

GENERAL USE

COMMUNITY LIBRARY

ZONING

C-2 GENERAL COMMERCIAL DISTRICT

PROPERTY DESCRIPTION

DEED 11742-759
THE WEST 210 FEET OF THE SOUTH 210 FEET OF THAT PART OF THE SOUTHWEST FRACTIONAL QUARTER (SW FRL. ¼) OF SECTION 30, TOWNSHIP 80 NORTH, RANGE 22 WEST OF THE 5TH P.M., BONDURANT, POLK COUNTY, IOWA, LYING EAST OF THE NORTH-SOUTH PUBLIC HIGHWAY'S EAST BOUNDARY LINE (1ST ST. N.) AND NORTH OF THE EAST-WEST PUBLIC HIGHWAY'S NORTH BOUNDARY LINE (2ND ST. NE)

&
DEED 11742-793
BEGINNING AT A POINT 605.9 FEET EAST AND 40 FEET NORTH OF THE SOUTHWEST CORNER OF SECTION 30, TOWNSHIP 80 NORTH, RANGE 22 WEST OF THE 5TH P.M., AS POINT OF BEGINNING; THENCE EAST 66 FEET PARALLEL TO AND 40 FEET DISTANT FROM SOUTH LINE OF SOUTHWEST FRACTIONAL QUARTER (SW FRL. ¼) OF SAID SECTION 30; THENCE NORTH AT RIGHT ANGLES 210 FEET; THENCE WEST 66 FEET; THENCE SOUTH 210 FEET TO THE POINT OF BEGINNING.

OPEN SPACE

58,051.64 S.F. PROPOSED PROJECT AREA
0.15 MINIMUM OPEN SPACE RATIO
8,707.75 S.F. MINIMUM OPEN SPACE REQUIRED
0.51 PROPOSED OPEN SPACE RATIO

PARKING REQUIREMENTS

1 PER 400SF OF OFFICE SPACE
1 PER EMPLOYEE OF WAREHOUSE SPACE
TOTAL REQUIRED STALLS
TOTAL PROVIDED STALLS (INCLUDING 2 ACCESSIBLE STALLS)

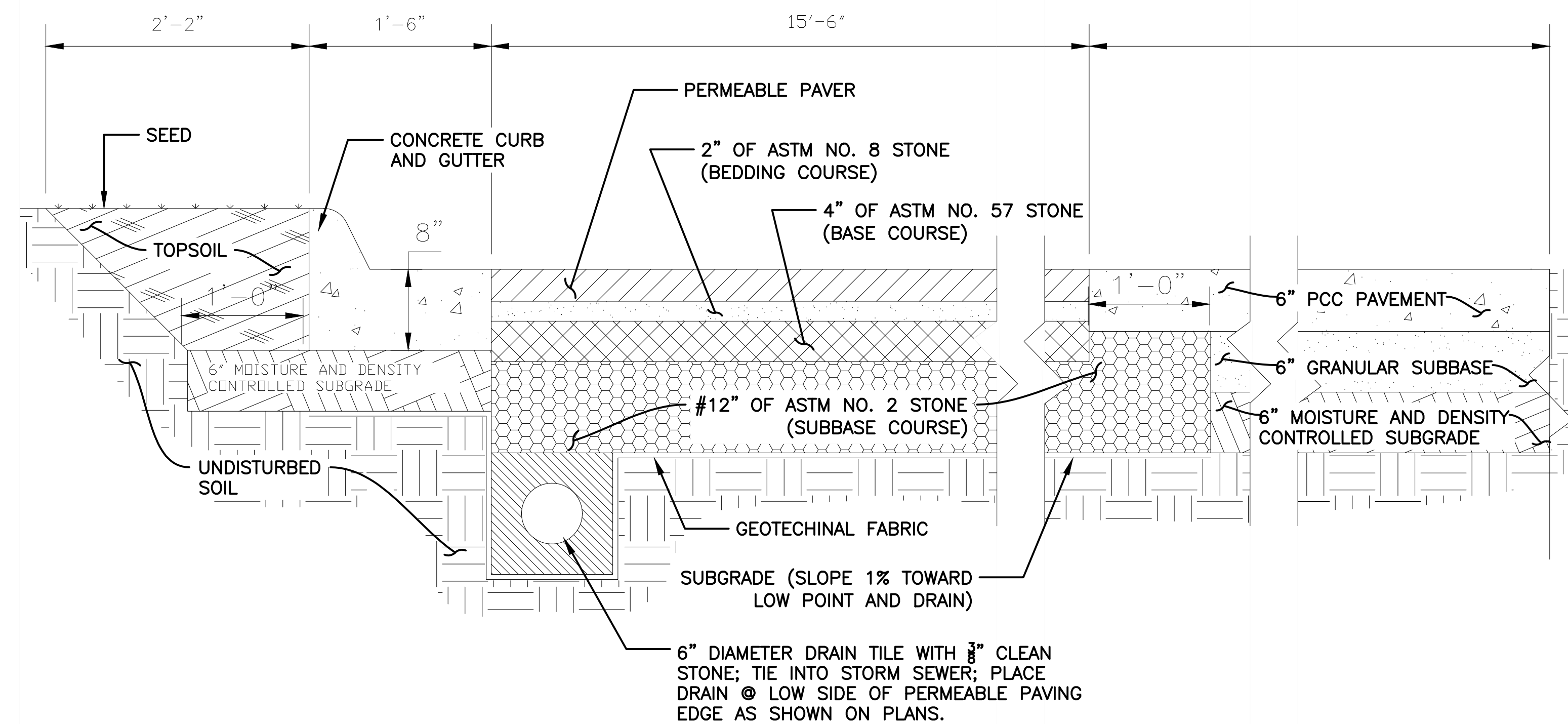
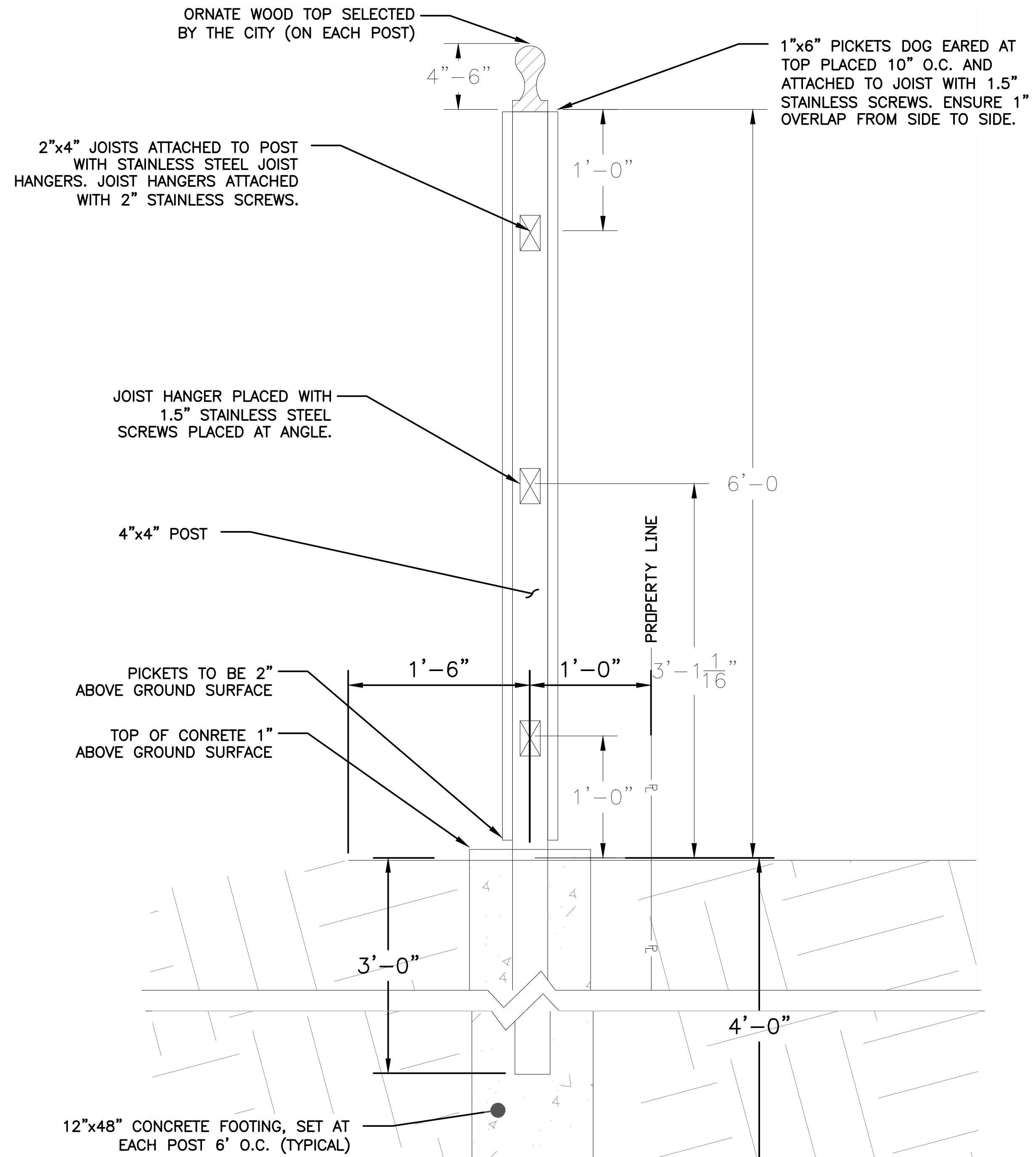
BULK REGULATIONS

FRONT YARD SETBACK - 30FT
REAR YARD SETBACK - 25FT
SIDE YARD SETBACK - 30FT
MAXIMUM HEIGHT - 80FT
MAXIMUM STORIES - 3
MINIMUM OPEN SPACE - 15%

GENERAL LEGEND

	SURVEY LINE & STATION INDICATOR		CULVERT: SIZE AND TYPE
	CONCRETE SURFACE		FLARED END SECTION
	ASPHALT SURFACE		RAILROAD
	CONCRETE W/ASPHALT OVERLAY		MAILBOX
	LOW GRADE ASPHALT SURFACE		FENCE (MISC.)
	GRANULAR SURFACE		SECURITY FENCE
	DIRT SURFACE		WOOD FENCE
	BRICK SURFACE		SILT FENCE
	SURFACING REMOVAL/REPLACEMENT		CHAIN LINK FENCE
	EARTH SECTION		PROPERTY LINE
	NEW SEWER/MANHOLE		PROPERTY PIN
	NEW SEWER/INTAKE		SECTION CORNER
	NEW WATER MAIN		PLAT BOUNDARY
	NEW FORCE MAIN		BUILDING
	NEW HYDRANT		ELEVATION MARKER
	NEW WATER VALVE		CENTERLINE
	EXISTING SANITARY SEWER AND SIZE		DIA.
	EXISTING STORM SEWER AND SIZE		ELEV.
	EXISTING WATER MAIN AND SIZE		PVC
	EXISTING FORCE MAIN AND SIZE		CAST IRON PIPE
	GAS MAIN AND SIZE		DUCTILE IRON PIPE
	UNDERGROUND POWER LINE		CORRUGATED METAL PIPE
	OVERHEAD POWER LINE		VITRIFIED CLAY PIPE
	UNDERGROUND TELEPHONE LINE		REINFORCED CONCRETE PIPE
	CABLE TELEVISION LINE		REINFORCED CONCRETE ARCH PIPE
	FIBER OPTICS		LINED REINFORCED CONCRETE PIPE
	TOP OF EMBANKMENT		LINED CONCRETE PRESSURE PIPE
	TOE OF EMBANKMENT		STATION
	DRAINAGE COURSE		LINE AHEAD
	SANITARY MANHOLE		LINE BACK
	STORM WATER MANHOLE		BENCH MARK AND NUMBER
	ELECTRIC MANHOLE		RIGHT-OF-WAY
	TELEPHONE MANHOLE		POINT OF INTERSECTION
	WATER MANHOLE		POINT ON TANGENT
	CURB INTAKE		LINEAR FEET
	AREA OR BEEHIVE INTAKE		TACKED HUB
	EXISTING HYDRANT		SOIL BORING AND NUMBER
	EXISTING WATER VALVE		POINT OF VERTICAL CURVATURE
	GAS VALVE		POINT OF VERTICAL TANGENCY
	UTILITY POLE		VERTICAL CURVE
	GUY ANCHOR		POINT OF CURVATURE
	STREET LIGHT		POINT OF TANGENCY
	SIGN		MIDDLE ORDINATE
	TELEPHONE CABLE JUNCTION BOX		DRAWING
	TRAFFIC SIGNALS		CONTROL POINT AND NUMBER
	PEDESTRIAN CONTROL LIGHT		TYPICAL
	RAILROAD CONTROL LIGHT		HIGH PRESSURE GAS
	RAILROAD SIGN		INTERMEDIATE PRESSURE GAS
	UTILITY ACCESS COVER		INVERT
	PARKING METER		EACH WAY, EACH FACE
	TREE		EACH WAY
	EVERGREEN		AT
	STUMP		DRAWING NUMBER
	BUSH, SHRUB OR HEDGE		

NOTE: THIS IS A GENERAL LEGEND. ITEMS MAY OR MAY NOT APPEAR ON DRAWINGS.



PAVEMENT CROSS SECTION DETAIL A'-A

FEH DESIGN

3000 Westown Parkway,
West Des Moines, Iowa
50319-2250
515-225-8000
515-225-7848 (FAX)

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IN ASSOCIATION WITH

SHEET TITLE
DETAIL & NOTES

PROJECT TITLE
City of Bondurant
BONDURANT COMMUNITY LIBRARY EXPANSION
104 2nd St. NE, Bondurant, IA 50035

DATE ISSUED 05-26-2020
REV. NO. DATE

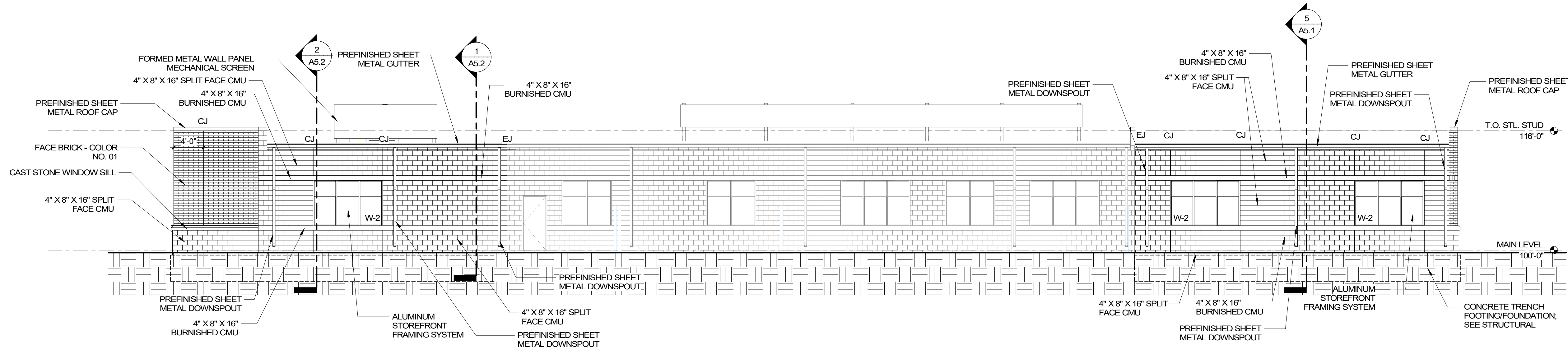
PROJECT NUMBER
2018231.02

SHEET

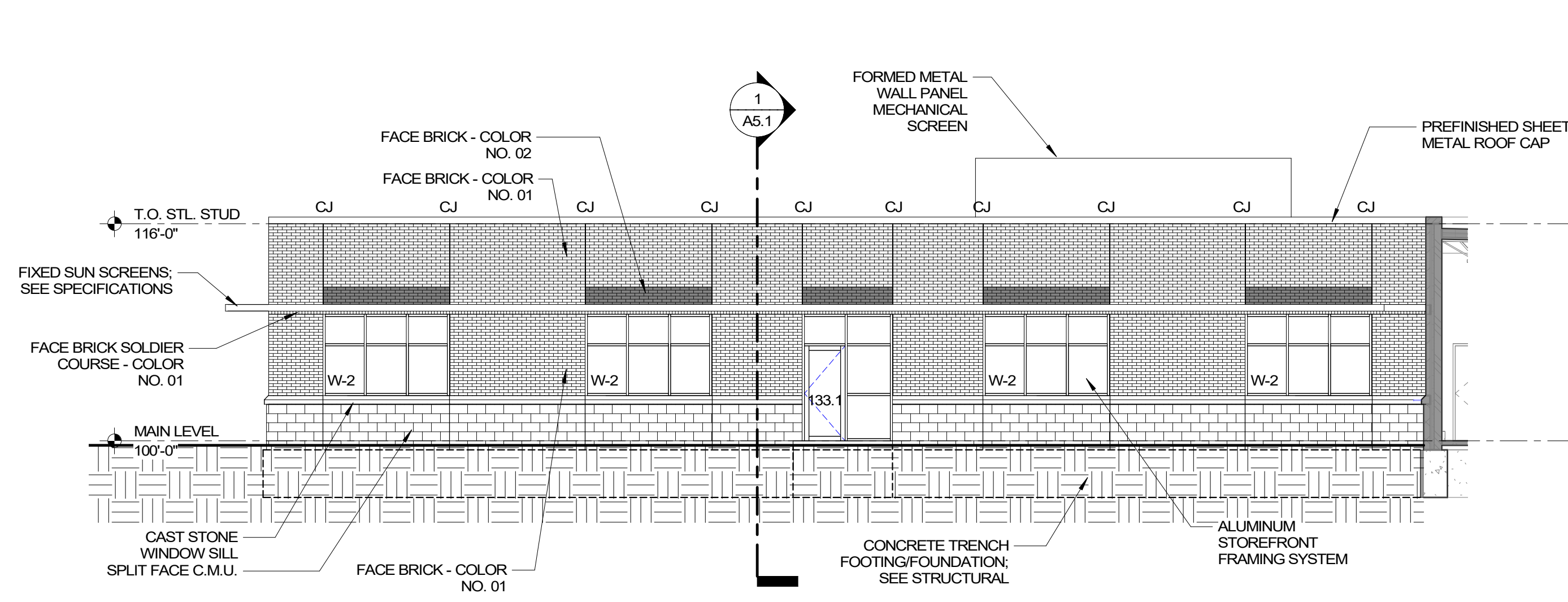
C6



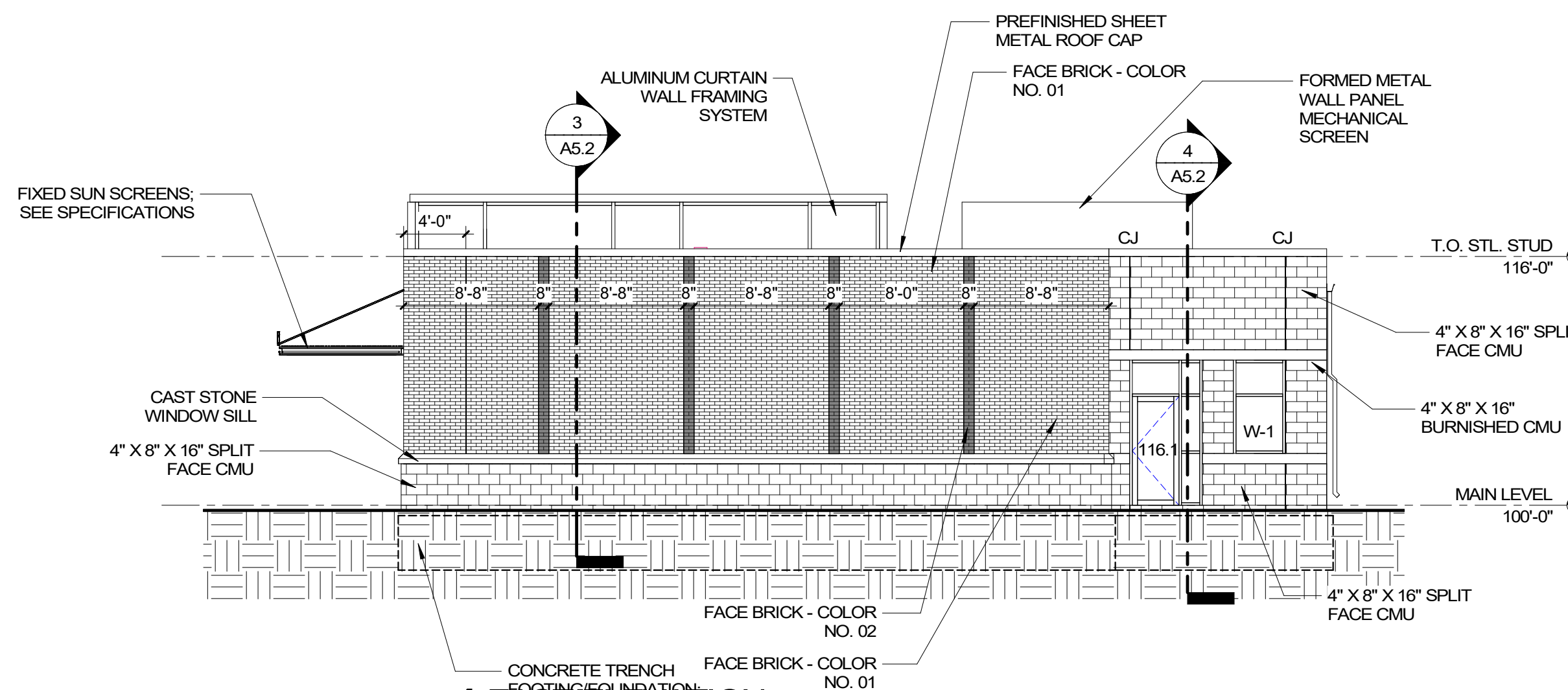
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



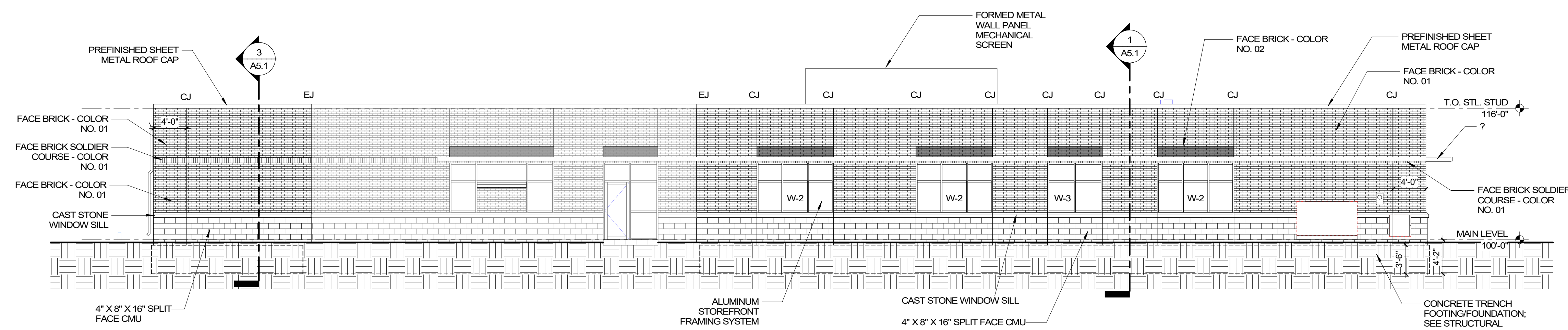
2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTHEAST ELEVATION
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"



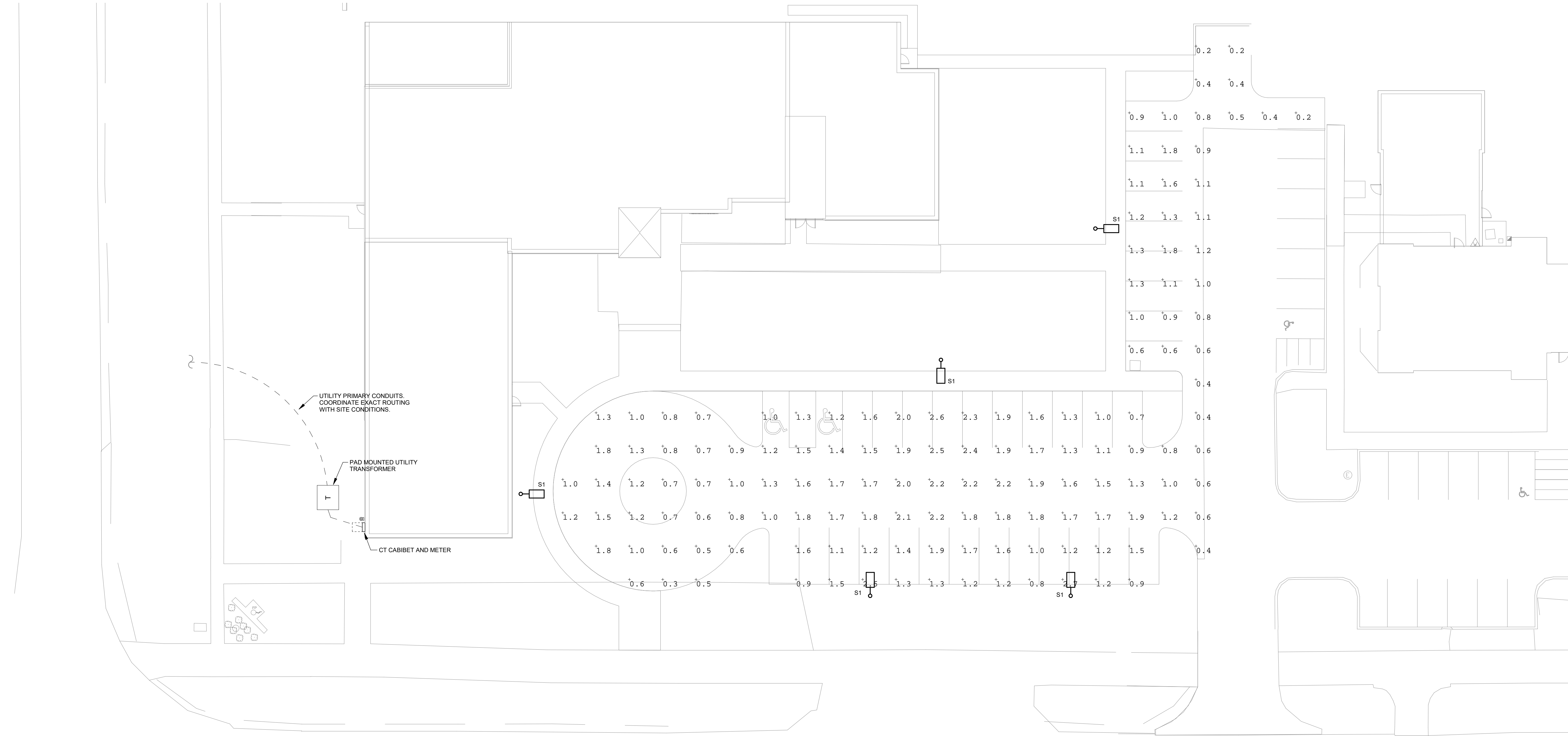
5 WEST ELEVATION
SCALE: 1/8" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

- SITE NOTES - ELECTRICAL**
- UTILITIES SHOWN ON ELECTRICAL SITE PLAN ARE SCHEMATIC ONLY. VERIFY ALL SITE CONDITIONS AND DIMENSIONS ON SITE PRIOR TO COMPLETING BID AND ORDERING OF EQUIPMENT.
 - CONTRACTOR SHALL REPAIR ALL AFFECTED SURFACES AND RESTORE TO EXISTING CONDITIONS AT COMPLETION OF PROJECT.
 - WARNING - CALL 48 HOURS BEFORE YOU DIG - IOWA LAW REQUIRES ANYONE DOING ANY EXCAVATION, FENCING, PLANTING OR DRILLING TO CALL 48 HOURS IN ADVANCE. HAND DIG WITHIN 18 INCHES OF ANY LOCATE MARK OR FLAG. IOWA ONE-CALL 1-800-292-8989.



GENERAL NOTE:
 UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES HAVE BEEN SHOWN BASED UPON INFORMATION OBTAINED FROM FIELD LOCATIONS BY UTILITY COMPANIES, AVAILABLE SURVEYS AND RECORDS. THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS ALSO POSSIBLE THAT THERE MAY BE OTHER UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES IN EXISTENCE THAT ARE NOT SHOWN. IT IS THE RESPONSIBILITY OF EACH INDIVIDUAL PARTY REFERENCING THIS PLAN TO DETERMINE THE EXACT LOCATION AND TYPE OF UNDERGROUND FACILITIES ON THE SITE. HAND EXCAVATE AT CRITICAL POINTS AS NECESSARY TO VERIFY LOCATIONS, SIZES, ELEVATIONS, FLOW LINES, ETC. IF A PROBLEM OR INTERFERENCE EXISTS, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING.



1 ELECTRICAL SITE PLAN
 SCALE: 1/16" = 1'-0"

IN ASSOCIATION WITH

SHEET TITLE
ELECTRICAL SITE PLAN

PROJECT TITLE
BONDURANT COMMUNITY LIBRARY EXPANSION
 104 2nd St. NE, Bondurant, IA 50035

DATE ISSUED 06-01-2020
 REV. NO. DATE

PROJECT NUMBER
 2018231.02

SHEET
E0.1