



City of Bondurant

# **REGIONAL COMMERCIAL MASTER PLAN**

Master Plan & Design Guidelines

**ADOPTED MAY 18, 2020**

# ACKNOWLEDGEMENTS

## CITY ELECTED OFFICIALS

Curt Sullivan, Mayor  
Bob Peffer, Council Member  
Wed Enos, Council Member  
Tara Cox, Council Member  
Jen Keeler, Council Member  
Doug Elrod, Council Member  
Angela McKenzie Council Member

## STEERING COMMITTEE MEMBERS

Brian Lohse  
Jen Keeler  
Alex Lynch  
Adam Kline  
Tara Cox  
Sue Ugolini  
Thad Long  
Marketa Oliver  
Jeff Kromrie

## CITY OF BONDURANT

The City of Bondurant would like to help all the residents that took part in the public engagement process for the Bondurant Regional Commercial Master Plan. Your input helped guide the final plan and design guidelines.

## CONSULTANT TEAM



# TABLE OF CONTENTS

## INTRODUCTION

Overlay Description

Application + Intent

Permitted Uses

## ARCHITECTURE

Intent

Submittal Requirements

Definitions

Building Design Standards

## SITE PLANNING

Setback + Bulk Requirements

Open Space, Landscaping, Buffering + Screening

Vehicle, Bike, and Pedestrian Circulation + Parking

Outdoor Displays + Sales

Lighting

Signage

Stormwater Management

This page intentionally left blank

City of Bondurant  
**REGIONAL COMMERCIAL MASTER PLAN**  
Design Guidelines

CHAPTER ONE

# 1 INTRODUCTION

# INTRODUCTION

## INTRODUCTION

### Overlay Description

The NE 72nd Street interchange with Interstate 80 (I-80) serves as a major gateway into the City of Bondurant. This strategic location contains large, undeveloped areas that can provide a wide variety of options for future commercial, industrial and residential growth. The purpose of the Grant Street South Overlay District is to provide a uniform and enhanced set of standards to guide and promote the orderly development of the Overlay District to maximize its potential and long-term value to the property owners, local residents and the entire community of Bondurant.

### Future Land Use Map

The master plan for the Grant Street South Overlay District serves as a supplement to the City's adopted Comprehensive Plan and is the basis for the zoning regulations in this overlay area. The Future Land Use Map extends beyond the regional commercial area boundary to address impacts on adjoining properties and identify future development opportunities.

### Land Use Category Definitions

The land use categories as detailed on the master plan coincide with the categories as identified within the Comprehensive Plan and include the following:

- » Low Density Residential
- » Multi-Family Residential
- » Community Commercial
- » Regional Commercial
- » Mixed Use
- » Office
- » Industrial
- » Open Space

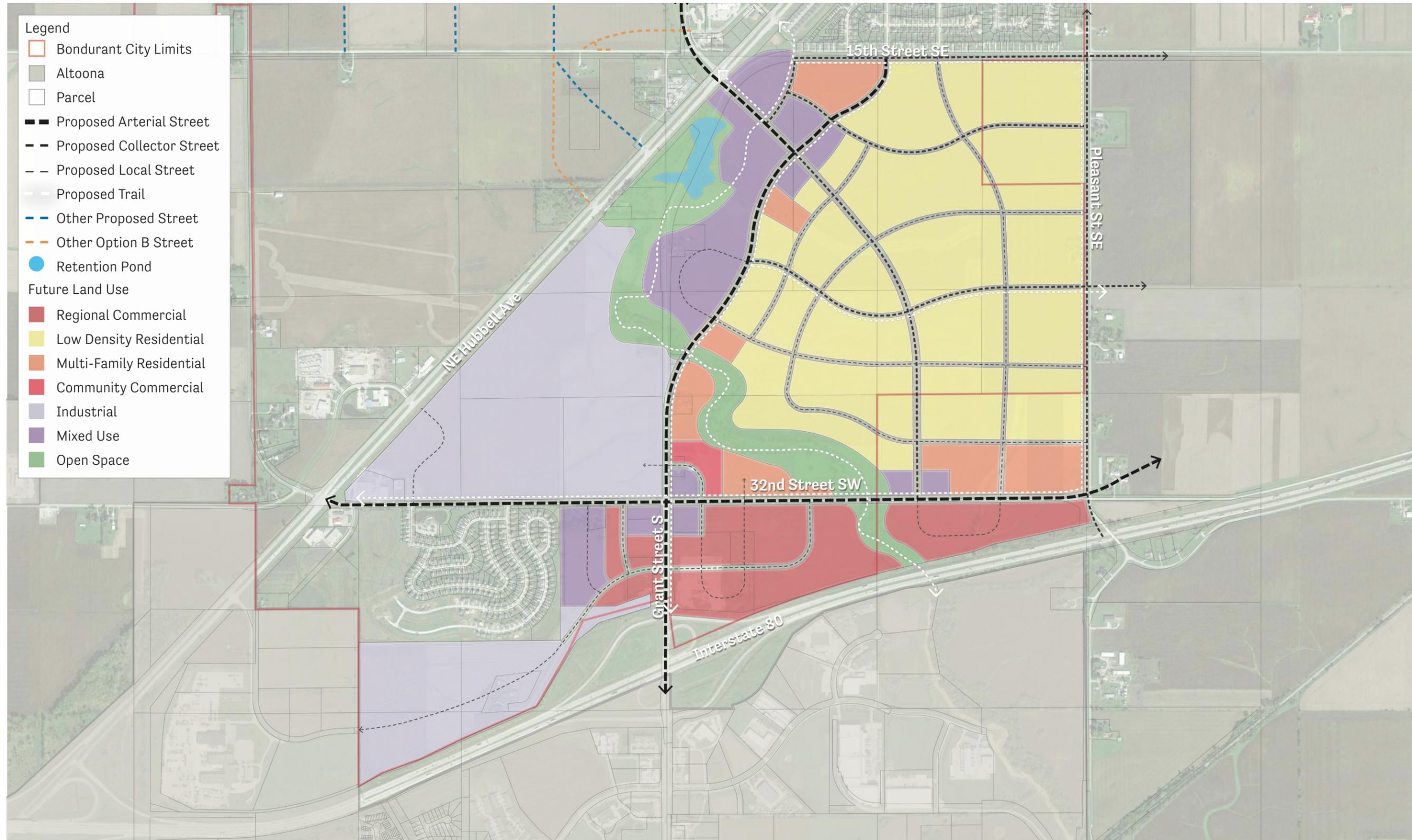
### Conceptual Master Plan

Included within this document are conceptual master plans for identified development areas within the Future Land Use Map. The master plans are intended to display the general scale and density desired within the overlay area.

**Figure 1.1** Grant Street South Overlay District & Regional Commercial Study Area Boundaries



Figure 1.2 Land Use Plan



# INTRODUCTION

Figure 1.1 Regional Commercial Area Master Plan



# INTRODUCTION

Figure 1.1 North Mixed Use Area Master Plan



# INTRODUCTION

## INTRODUCTION

### Application + Intent

The design guidelines contained within this document shall apply to all property officially zoned within this Overlay District’s boundaries. When a standard or code requirement is not covered by this overlay, the regulations as contained elsewhere within the City’s code for the underlying zoning district in which the property is zoned shall apply. Should a conflict arise between the City Code and these design guidelines, the more restrictive requirement, as determined by the City’s Zoning Administrator, shall prevail.

Prior to the development or redevelopment of any parcel located within the overlay district, the property should be zoned or rezoned consistent with the land use designation provided in the NE 72nd Street Overlay District. The following Zoning/Land Use Compatibility Table identifies the zoning district or districts compatible (“C”) within each land use designation.

ZONING AND OVERLAY LAND USE COMPATIBILITY TABLE									
		Overlay Land Use Categories							
		Low Density Residential	Multi-Family Residential	Community Commercial	Regional Commercial	Mixed Use	Office	Industrial	Open Space
Zoning Districts	A-1 Agricultural								C
	R-1 Single Family Residential	C							
	R-2 One and Two-Family Residential	C							
	Multi-Family Residential		C						
	C-1 Transitional Commercial			C		C			
	C-2 General Commercial District			C	C				
	C-4 Central Business			C	C	C			
	C-5 Office Park			C	C		C		
	M-1 Limited Industrial							C	
	U-1 Conservancy								C

## INTRODUCTION

### Permitted Uses

The following table identifies the uses that are appropriate and compatible within the overlay district for each land use category. Uses identified with a “P” should be considered as Principal Permitted uses. Uses of any type not specifically listed as a permitted use within this table are not permitted within the corresponding land use category. Certain uses are not permitted anywhere within this overlay district given its special nature and unique goals for the area. The Zoning Administrator, at their full discretion, may make interpretations as may be necessary to determine where a specific use may or may not fit within this table.

PERMITTED USES TABLE								
Use	Overlay Land Use Categories							
	Low Density Residential	Multi-Family Residential	Community Commercial	Regional Commercial	Mixed Use	Office	Industrial	Open Space
<b>RESIDENTIAL USES</b>								
Household Living								
Single family dwelling, detached	P		P					
Two-family dwelling	P	P	P					
Townhouse dwelling (3+ units)		P	P	P	P			
Multiple family dwelling		P		P	P			
Dwelling units located above the ground floor (mixed use building)					P			
Group Living								
Family home / group care facility	P	P	P	P				
Elder group home	P	P	P	P				
Assisted living residential facility	P	P	P	P				
Nursing or convalescent home	P	P	P	P				
Supervised group residence				P				
<b>PUBLIC &amp; CIVIC USES</b>								
College, university or vocational school			P	P	P	P		
Cultural exhibit, museum, or library			P	P	P	P		
Membership or religious institution			P	P	P	P		
Membership or religious organization, social club or lodge, and other place of public assembly	P	P	P	P	P	P	P	P
Public or private elementary, middle, or high school	P	P	P	P	P	P	P	P
Park and ride and similar transit facility			P	P	P	P	P	

# INTRODUCTION

## PERMITTED USES TABLE

Use	Overlay Land Use Categories							
	Low Density Residential	Multi-Family Residential	Community Commercial	Regional Commercial	Mixed Use	Office	Industrial	Open Space
<b>PUBLIC &amp; CIVIC USES (CONTINUED)</b>								
Public or private golf course, golf driving range, country club, swimming pool, and indoor or outdoor recreational facilities and fields	P	P	P	P	P	P	P	P
Public Utilities (not including gas and electrical power distribution stations)	P	P	P	P	P	P	P	P
Government buildings and properties	P	P	P	P	P	P	P	
Hospital			P	P	P	P	P	
<b>COMMERCIAL USES</b>								
After hours business								
Animal Services								
Kennel (Including day kenneling)							P	
Veterinary services (without overnight kenneling)				P			P	
Art Gallery			P	P	P	P	P	
Banks and Financial								
Banks, not including delayed deposit service business			P	P	P	P	P	
Delayed deposit service business (including check cashing, payday lending, car title loan business)							P	
Pawn shop							P	
Freestanding automated teller machine (ATM)				P		P	P	
Body piercing studio or tattoo studio				P		P	P	
Child Care Center	P	P	P	P	P	P		
Construction sales and service, contractor office, office for plumber, electrician, HVAC service or similar use								
No outdoor storage						P	P	
With outdoor storage							P	
Drive-in or drive-thru			P	P	P	P	P	
Eating and drinking								
Restaurant			P	P	P	P	P	

# INTRODUCTION

## PERMITTED USES TABLE

Use	Overlay Land Use Categories							
	Low Density Residential	Multi-Family Residential	Community Commercial	Regional Commercial	Mixed Use	Office	Industrial	Open Space
<b>COMMERCIAL USES (CONTINUED)</b>								
Micro-brewery, micro-distillery, or winery with on-site tasting/sampling and sales			P	P	P	P	P	
Tavern / Bar				P	P		P	
<b>Entertainment</b>								
Movie theater, performance hall, performing arts studio			P	P	P	P	P	
Indoor: waterpark, miniature golf, bowling, video game arcades, go-carts, trampoline park, playground play space or similar use				P			P	
Outdoor: waterpark, miniature golf, go-carts, trampoline park, playground play space or similar use				P			P	P
<b>Funeral and interment</b>								
Cemetery, mausoleum, columbarium	P	P	P	P	P	P	P	P
Cremation services							P	
Funeral Home including funeral services and retail sales with no outdoor display or storage				P		P	P	
Retail sales with outdoor displays and storage				P			P	
<b>Lodging</b>								
Bed and breakfast inn	P	P	P		P			
Boarding or rooming house		P						
Extended stay or apartment hotel				P				
Hotel or motel				P				
Short-term rental		P						
Medical or dental clinic, pediatrician's office, outpatient surgery center, medical testing center, or similar use			P	P	P	P	P	
<b>Mini warehouse or self-storage facility</b>								
In-door only							P	
Out-door storage including vehicle, boat, camper, recreational vehicle							P	

# INTRODUCTION

## PERMITTED USES TABLE

Use	Overlay Land Use Categories							
	Low Density Residential	Multi-Family Residential	Community Commercial	Regional Commercial	Mixed Use	Office	Industrial	Open Space
<b>COMMERCIAL USES (CONTINUED)</b>								
Motor vehicle and motor equipment-oriented businesses								
Automobile service center (auto parts sales)							P	
Car wash (auto, manual, or attended)				P			P	
Gas station or service station with minor repair and services (brakes, batteries, tires, oil changes)							P	
Major motor vehicle repair (painting, body, fender, frame, transmission, engine overhaul)							P	
Automobile sales, storage lot, and off-site parking							P	
Recreational vehicle, camper, boat, motorcycle, snowmobile, and similar sales, lease, and rental and ancillary repair and maintenance							P	
Light equipment sales, rental, or repair service							P	
Heavy equipment sales, rental or repair service							P	
Truck Stop								
Personal and consumer service								
Beauty salon, barbershop			P	P	P	P	P	
Dry cleaner and laundry service				P		P	P	
Dry cleaner and laundry service (pick-up/drop-off service only)				P		P	P	
Laundry (self-serve laundromat)							P	
Fitness center, gym, health spa				P	P	P	P	
Tailor			P	P	P	P	P	
Print shop, copy center, retail shipping store						P	P	
Professional Office			P	P	P	P	P	
Retail sales (grocery store, pharmacy/drug store, office supplies store, bakery, clothing or department store, and similar retail use)			P	P	P	P	P	

## PERMITTED USES TABLE

Use	Overlay Land Use Categories							
	Low Density Residential	Multi-Family Residential	Community Commercial	Regional Commercial	Mixed Use	Office	Industrial	Open Space
<b>COMMERCIAL USES (CONTINUED)</b>								
Retail sale - intensive								
Convenience store			P	P	P		P	
Fireworks sales							P	
Hardware store, lawn and garden store, or similar use with outdoor storage				P			P	
Large retail (over 75,000 sq. ft. gross floor area, single user or tenant space)				P			P	
Liquor store				P			P	
Lumber yard				P			P	
Medical cannabidiol dispensary							P	
Smoking lounge or hookah lounge							P	
Tobacco store (including vape shop)							P	
Sexually oriented business								
Spectator sports								
Indoor							P	
Outdoor							P	P
<b>INDUSTRIAL USES</b>								
Animal feedlots, processing of animals or animal by-products								
Electrical power generation (utility scale for off-site use, distribution, or sale)							P	
Manufacturing								
Limited (no food related processing and manufacturing, all activities wholly contained within a building)						P	P	
General (limited food processing, outdoor storage limited)							P	
Intensive (may include outdoor storage of materials and activities not contained within a building) and includes:								
Medical cannabidiol manufacturer							P	

# INTRODUCTION

## PERMITTED USES TABLE

Use	Overlay Land Use Categories							
	Low Density Residential	Multi-Family Residential	Community Commercial	Regional Commercial	Mixed Use	Office	Industrial	Open Space
<b>INDUSTRIAL USES (CONTINUED)</b>								
Repair service								
Electronics, appliance, household goods, furniture or similar							P	
Small engine							P	
Research laboratory and testing						P	P	
Storage of equipment, data and records, electronic data center, furniture and similar							P	
Trucking/freight terminal							P	
Wholesale fuel storage, sales, or distribution								
Warehousing and wholesaling (outdoor storage limited to licensed and operable trailers, trucks, power equipment, and shipping containers)							P	
Waste related use								
<b>OTHER USES</b>								
Accessory Uses	P	P	P	P	P	P	P	P
Agricultural uses								
Farming (row crop, vegetables, greenhouse, vineyards, orchards)								P
Animal Husbandry (raising of livestock)	This page intentionally left blank							
Truck gardening and nurseries								P
Boarding stables and riding schools								P
Gas and electrical power distribution station								P
Mining operation, sand and gravel extraction or processing, gas or oil well, or similar mineral or earth resource extraction								P
Wireless facility								
Tower		P	P	P	P	P	P	P
Collocated		P	P	P	P	P	P	P

This page intentionally left blank

This page intentionally left blank

City of Bondurant  
**REGIONAL COMMERCIAL MASTER PLAN**  
Design Guidelines

CHAPTER TWO

# 2 ARCHITECTURE

# ARCHITECTURE

## ARCHITECTURE

### Intent

The intent of these building architectural standards is to establish a minimum level of investment desired for buildings within the overlay district that will promote quality development and protect the long-term value of each property's site improvements.

All new development and redevelopment within the overlay district shall comply with these standards. At the discretion of the Zoning Administrator, deviations from these standards may be granted for minor building expansions and renovations in order to ensure the building addition is aesthetically compatible with the existing building design and appearance.

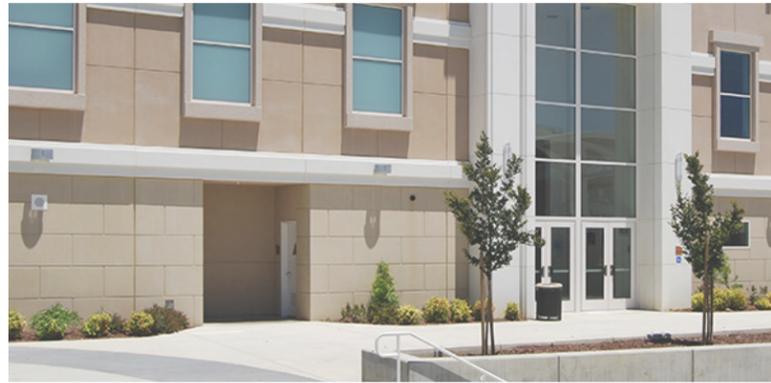
These standards shall apply to both principal and accessory structures including garages. Accessory structure design and exterior finish shall be compatible with the design and finish of the principal building or buildings on the site.

### Submittal Requirements

The following information shall be provided by the application as part of the required site plan submittal or building permit submittal process for all new building construction, additions, and exterior renovations. Exceptions to the submittal requirements may be granted by the Zoning Administrator based upon the size, scale and complexity of the proposed building project.

1. Detailed elevations of each side of all buildings including dimensions and descriptions of all exterior building materials including windows, doors, awnings, and loading docks.
2. Locations of all exterior mechanical equipment, HVAC units, vents, piping and meters including methods for screening.
3. All exterior building lighting including details of all light fixtures
4. Other information determined by the Zoning Administrator as necessary.





## DEFINITIONS

### Architectural (Precast) Concrete Panels

A precast concrete wall panel that is designed and engineered to transfer shear, support floor and roof loads as well as offer a wide range of architectural exterior finishes. Architectural precast panels have the highest quality concrete finish and very often are integrally colored in the plant to match other building exterior finish materials.

### Burnished Block

A concrete masonry unit (CMU) whose display face has been burnished (polished) to expose the natural colors and shapes of the aggregates within the block. Burnishing yields a higher quality finish characterized by increased coloration and subtle variation in hue and tone. Burnished surfaces are coated with a clear sealer to achieve a high-resolution finish.



### Exterior Insulation and Finish System (EIFS)

An exterior finish for a building composed of polystyrene foam covered with a synthetic stucco (in contrast to traditional, cement-based stucco). Water-Managed EIFS, also known as EIFS with drainage, refers to EIFS that includes a drainage plane or drainage layer that provides a way for moisture to evacuate from the wall cavity.

### Façade

Any exterior face of a building. The primary façade (front façade) is designated by its relationship to the street; the main entry to the building shall be located in the primary façade. Side and rear facades may be classified as secondary facades.



### Façade Area

Is the total exterior wall area of all vertical or near-vertical faces of a building four (4) feet in width or greater when viewed in elevation. Façade area shall be calculated to exclude the wall area resulting from minor projections and recessions from the predominant wall plane less than four (4) feet in depth. Façade area shall be calculated to include the area of parapets, cornices, and similar wall extensions and trim.

### Fenestrations

The design, construction, or presence of openings in a building. Includes windows, doors, louvers, vents, wall panels, skylights, storefront, curtain walls, and slope glazed systems. From the Latin word fenestra (“window”).

### Fiber Cement

A composite building material made of sand, cement, and cellulose fibers. Most commonly used in siding applications where quality, longevity and durability are required.



### Split-face Block

A solid or hollow concrete masonry unit, split lengthwise after curing; laid with the fractured surface exposed, so as to provide a rough texture.

### Primary Façade

All street-facing façades (i.e., all building façades that face or front along a public or private street including highways) shall be a Primary Façade. This definition includes those building façades separated from the street by a parking lot or open space. This definition does not include frontage along an internal drive that is not classified as a private street. Buildings may have more than one primary façade as is the case with buildings located on corner lots and double frontage lots. All other façades shall be secondary façades.

# ARCHITECTURE

## BUILDING DESIGN STANDARDS

### General Requirements

Building design and construction of all buildings shall follow good design principals and use quality, low-maintenance exterior building materials to be long-lasting and provide a positive impact on neighboring properties and the entire Bondurant community. All buildings shall employ recognized architectural design principals, be proportional, and designed with a top, middle, and bottom. For example, buildings with three (3) or more stories in height should have masonry or stone base rows or foundation lines and generally have low-slope roofs with heavy cornices versus pitched, residential style roofs that may be out-of-scale with a tall, multi-story building. Building exterior materials shall be applied in a realistic manner reflecting the material's weight and typical use in order to convey a sense of strength and durability. Buildings or building elements that do not follow recognizable architectural design principals, are not proportional in scale, or do not appropriately apply exterior building materials shall not be considered as meeting the intent and requirements of this chapter.



# ARCHITECTURE

## BUILDING DESIGN STANDARDS

### General Requirements

#### Façade Design and Articulation

All buildings should be designed to minimize single plane walls and boxy appearance through the use of pitched roofs, dormers, cupolas, multiple roof lines, and relief in long wall expanses.

All buildings, except agricultural and single family residential, shall incorporate façade modulation in all building elevations that face or are visible from a public street to reduce the effect of long, large or expansive wall surfaces. Variation of these surfaces can be accomplished by physical wall offsets or the use of changes in exterior building materials.

Loading docks, service areas, or overhead doors should not face or be visible from public streets.

#### Application of Building Materials

Brick, stone, and block should be applied in a manner to acknowledge its historic use as a building foundation material. As such it should not be applied in a way where it appears to be unsupported or float within a building façade, such as stone applied to a roof dormer.

Brick and stone exterior finishes should not be painted, except as may be determined by the Zoning Administrator as appropriate based on the building design and architectural style.

Thin brick and stone veneer should be applied in a manner where the actual brick or stone thickness will not be distinguishable from that of full-depth brick or stone and otherwise provides the appearance of full-depth brick or real stone. Brick and stone veneer should be continued a minimum of 12-inches around wall corners.

EIFS shall not be permitted within four (4) feet of the finished floor elevation of the façade on which it is located.



# ARCHITECTURE

## BUILDING DESIGN STANDARDS

### General Requirements

#### Building Elements

The use of false or fake building elements over a building façade or roof, is discouraged. Windows or dormers should be in proportion and match the adjoining roof pitch as well as have the appearance of being functional and operational. Roof parapets and roof top screen walls should have returns along the sides to conceal the edges. Building towers and other above roof building elements should be multi-sided and finished on all sides.

Awnings and canopies should be in proportion to the wall area and/or opening it is covering and of an appropriate pedestrian or vehicle scale and height and be constructed of durable materials such as commercial grade fabric, canvas, tile, slate, architectural quality metal, or similar materials. Asphalt or composition shingle, or other materials with a synthetic or plastic appearance are not allowed.

All building soffits, overhangs, and cornices shall be appropriately scaled with a typical projection of generally no less than 12-inches, except as may be appropriate based on the architectural style.

#### Use of Trim

Except where architecturally unsuitable, appropriately scaled trim of at least three (3) inches in width shall be included around all window and door openings, building corners, roof lines, and façade material transitions located on primary façades.



Figure 2.1 Building Elements + Trim Examples

# ARCHITECTURE

## BUILDING DESIGN STANDARDS

### General Requirements

#### Franchise Architecture

The use of franchise architectural building elements and colors, including trademarked building features, is discouraged. All buildings, including franchise-based buildings, shall comply with the building design standards contained within this overlay.

#### Building Mounted Equipment Screening

All roof-top and building mounted HVAC and mechanical equipment, vents, piping, roof access ladder, and utility meters shall be located out of view or otherwise screened from view from all adjacent public or private streets. Screening shall be accomplished via landscaping, walls, and building elements or screen walls, or a combination of these methods.



# ARCHITECTURE

## BUILDING DESIGN STANDARDS

### Exterior Building Material

For the purposes of this overlay, all exterior building materials shall be categorized as follows as either Primary, Secondary, or Limited Materials. Primary Materials are considered high-quality, desirable materials, Secondary Materials are considered standard quality materials, and Limited Materials are considered materials for limited use and use as minor trim elements. The Zoning Administrator shall make the determination as to a specific material's appropriate classification under these three categories.

### Primary Materials

- » Brick veneer, fired clay (including thin brick veneer when applied in a manner that gives the appearance of full depth brick)
- » Stone (including synthetic stone veneer)
- » Glass, clear or slightly tinted (not including mirrored or heavily tinted glass)
- » Burnished/ground-faced block
- » Architectural quality precast concrete panels (high finish precast concrete panels, textured or burnished, and integrally colored - not painted)
- » Architectural quality, metal wall panel systems (high quality metal panels for decorative surface application with concealed fasteners)
- » Materials of similar quality, appearance and durability as determined by the Zoning Administrator

### Secondary Materials

- » Wood or cement fiber siding
- » Split-faced block
- » Traditional stucco
- » Architectural quality, metal wall panel systems (high quality metal panels for decorative surface application with exposed fasteners)
- » Exterior Insulation and Finish System (EIFS)
- » Materials of similar quality, appearance and durability as determined by the Zoning Administrator

### Limited Materials

- » Smooth concrete block
- » Site cast and precast concrete panels (plain and may be painted)
- » Metal siding, panels and trim
- » Mirrored or heavily tinted glass
- » Vinyl and PVC panels, siding, and trim
- » Composite wood panels, siding, and trim
- » Materials of similar quality, appearance and durability as determined by the Zoning Administrator



# ARCHITECTURE

## BUILDING DESIGN STANDARDS

### Agricultural Buildings

Agricultural related buildings within the A-1 Zoning District.

No specific standards.



Figure 2.2 Agricultural Building Examples

# ARCHITECTURE

## BUILDING DESIGN STANDARDS

### Single-Family Detached & Two-Family Residential Dwellings

Single family and two-family dwellings within the R-1 and R-2 Zoning Districts.

No specific standards.



Figure 2.3 Single-Family Detached and Two-Family Residential Dwellings Examples

# ARCHITECTURE

## BUILDING DESIGN STANDARDS

### Horizontally Attached Residential Dwellings

Three (3) or more dwelling units attached horizontally including Townhomes and Rowhouses.

#### Primary Facades

Incorporate no less than two (2) different Primary Materials, together comprising no less than 25% of the total façade surface area.

Each primary façade shall be divided into vertical bays to identify each individual dwelling unit width. Façade bays shall be differentiated from the adjoining units through a combination of horizontal and vertical wall articulation including changes to the design of the individual entryway, changes to the roofline, and through the use of differing exterior finish materials and colors.

#### Garages

All street-facing garages shall be recessed a minimum of two (2) feet from the building primary façade (front) line. Any 3rd, 4th or more adjacent garage stalls shall be recessed a minimum of two (2) feet from the front line of the adjoining 1st and 2nd garage stalls.



Figure 2.4 Horizontally Attached Residential Examples

# ARCHITECTURE

## BUILDING DESIGN STANDARDS

### Vertically Attached Residential Dwellings

Three (3) or more dwelling units attached vertically and horizontally including Apartments, Condos, Live-Work Units, Retirement or Assisted Living Facilities, and Skilled Care Facilities

#### Primary Facades

Incorporate no less than two (2) different Primary Materials, together comprising no less than 50% of the total façade surface area. Limited Materials shall not exceed 10% of the total façade surface area.

Each primary façade shall be divided into vertical bays that are no greater than 50 feet in width. Façade bays shall be differentiated from the adjoining units through a combination of horizontal and vertical wall articulation including changes to the design of the individual entryway, changes to the roofline, and through the use of differing exterior finish materials and colors.

#### Secondary Facades

Incorporate at least one (1) Primary Material comprising no less than 25% of the total façade surface area. Limited Materials shall not exceed 10% of the total façade surface area.

#### Garage Doors for Attached Garages

Any street-facing garage doors shall be recessed a minimum of two (2) feet from the building primary façade (front) line. Street-facing garage doors shall be architecturally treated and include an archway, column, awning, or overhang.

#### Freestanding Garages, Carports and Parking Structures

The design for any freestanding garages, carports, or parking structures shall comply with the façade articulation and exterior building materials requirements for a primary structure and shall be compatible with the design of the primary buildings on site. All doors/parking bays shall face the interior of the site and shall not be visible from an arterial roadway. The primary façade of any accessory structure shall have no less than two (2) separate windows for every 50 linear feet of wall façade. Each window shall be no less than four (4) square feet in size.



Figure 2.5 Vertically Attached Residential Examples

# ARCHITECTURE

## BUILDING DESIGN STANDARDS

### Non-Residential Buildings in Residential Zoning Districts

Schools, Churches, Places of Assembly, and Governmental Buildings.

#### Primary Facades

Incorporate no less than two (2) different Primary Materials, together comprising no less than 75% of the total façade surface area. Limited Materials shall not exceed 10% of the total façade surface area.

Each primary façade shall be divided into vertical bays that are no greater than 50 feet in width. Façade bays shall be differentiated from the adjoining bays through a combination of horizontal and vertical wall articulation including changes to the design of the individual entryway, changes to the roofline, and through the use of differing exterior finish materials and colors.

#### Secondary Facades

Incorporate at least one (1) Primary Material comprising no less than 50% of the total façade surface area. Limited Materials shall not exceed 10% of the total façade surface area.



Figure 2.6 Non-Residential Buildings in Residential Area Examples

# ARCHITECTURE

## BUILDING DESIGN STANDARDS

### Commercial Building

Includes Single and Multi-Tenant Commercial Buildings, Day Care Centers, Restaurants, Financial Institutions, Hotels, Motels, and Recreational and Entertainment Buildings.

#### Primary Facades

Incorporate no less than two (2) different Primary Materials, together comprising no less than 75% of the total façade surface area. Clear glass fenestrations (windows and doors) shall comprise no less than 20% of the first-floor façade area. Limited Materials shall not exceed 10% of the total façade surface area.

Each primary façade shall be divided into vertical bays that are no greater than 50 feet in width. Façade bays shall be differentiated from the adjoining bays through a combination of horizontal and vertical wall articulation including changes to the design of the individual entryway, changes to the roofline, and through the use of differing exterior finish materials and colors.

#### Secondary Facades

Incorporate at least one (1) Primary Material comprising no less than 50% of the total façade surface area. Limited Materials shall not exceed 10% of the total façade surface area.



Figure 2.7 Commercial Building Examples

# ARCHITECTURE

## BUILDING DESIGN STANDARDS

### Office and Civic Building

Includes Single and Multi-Tenant Office Buildings and, when in non-residential zoning districts, Schools, Churches, Places of Assembly, and Governmental Buildings.

#### Primary Facades

Incorporate no less than two (2) different Primary Materials, together comprising no less than 75% of the total façade surface area. Clear glass fenestrations (windows and doors) shall comprise no less than 20% of the first-floor façade area. Limited Materials shall not exceed 10% of the total façade surface area.

Each primary façade shall be divided into vertical bays that are no greater than 50 feet in width. Façade bays shall be differentiated from the adjoining bays through a combination of horizontal and vertical wall articulation including changes to the design of the individual entryway, changes to the roofline, and through the use of differing exterior finish materials and colors.

#### Secondary Facades

Incorporate at least one (1) Primary Material comprising no less than 50% of the total façade surface area. Limited Materials shall not exceed 10% of the total façade surface area.



Figure 2.8 Office and Civic Building Examples

# ARCHITECTURE

## BUILDING DESIGN STANDARDS

### Mixed-Use Buildings

A building that contains two or more different uses such as residential and retail and/or office uses.

#### Primary Facade

Incorporate no less than three (3) different Primary Materials, together comprising no less than 75% of the total façade surface area. Clear glass fenestrations (windows and doors) shall comprise no less than 30% of the first-floor façade area. Limited Materials shall not exceed 10% of the total façade surface area.

Each primary façade shall be divided into vertical bays that are no greater than 50 feet in width. Façade bays shall be differentiated from the adjoining bays through a combination of horizontal and vertical wall articulation including changes to the design of the individual entryway, changes to the roofline, and through the use of differing exterior finish materials and colors.

#### Secondary Facade

Incorporate at least two (2) Primary Material comprising no less than 50% of the total façade surface area. Limited Materials shall not exceed 10% of the total façade surface area.

#### Garage Doors for Attached Garages

Any street-facing garage doors shall be recessed a minimum of two (2) feet from the building primary façade (front) line. Street-facing garage doors shall be architecturally treated and include an archway, column, awning, or overhang.

#### Freestanding Garages, Carports and Parking Structures

The design for any freestanding garages, carports, or parking structures shall comply with the façade articulation and exterior building materials requirements for a primary structure and shall be compatible with the design of the primary buildings on site. All doors/parking bays shall face the interior of the site and shall not be visible from an arterial roadway. The primary façade of any accessory structure shall have no less than two (2) separate windows for every 50 linear feet of wall façade. Each window shall be no less than four (4) square feet in size.



Figure 2.9 Mixed-Use Building Examples

# ARCHITECTURE

## BUILDING DESIGN STANDARDS

### Industrial Building

An industrial use building located within the M-1 Zoning District.

#### Primary Façade

Incorporate no less than 2 different Primary Materials, together comprising no less than 50% of the total façade surface area. Limited Materials shall not exceed 10% of the total façade surface area.

Each primary façade shall be divided into vertical bays that are no greater than 100 feet in width. Façade bays shall be differentiated from the adjoining bays through a combination of horizontal and vertical wall articulation including changes to the design of the individual entryway, changes to the roofline, and through the use of differing exterior finish materials and colors.

#### Secondary Façade

Incorporate materials, colors, and design elements similar to those on the primary façade.



Figure 2.10 Industrial Building Examples

This page intentionally left blank

City of Bondurant  
**REGIONAL COMMERCIAL MASTER PLAN**  
Design Guidelines

CHAPTER THREE

# 3 SITE PLANNING

# SITE PLANNING

## SETBACK + BULK REQUIREMENTS

### Building Siting and Orientation

Buildings are encouraged to be oriented towards the street with the building entrances also facing the street. Parking areas should be located behind the buildings. Parking lots should be well landscaped to reduce the appearance and heat-island effect of large paved areas. Sites should be designed to accommodate bicycle and pedestrian access and circulation in addition to vehicle and service truck traffic.

### Setback + Bulk Requirements

New buildings, additions, and parking lots shall comply with the setbacks as provided within the underlying zoning in which there are located.

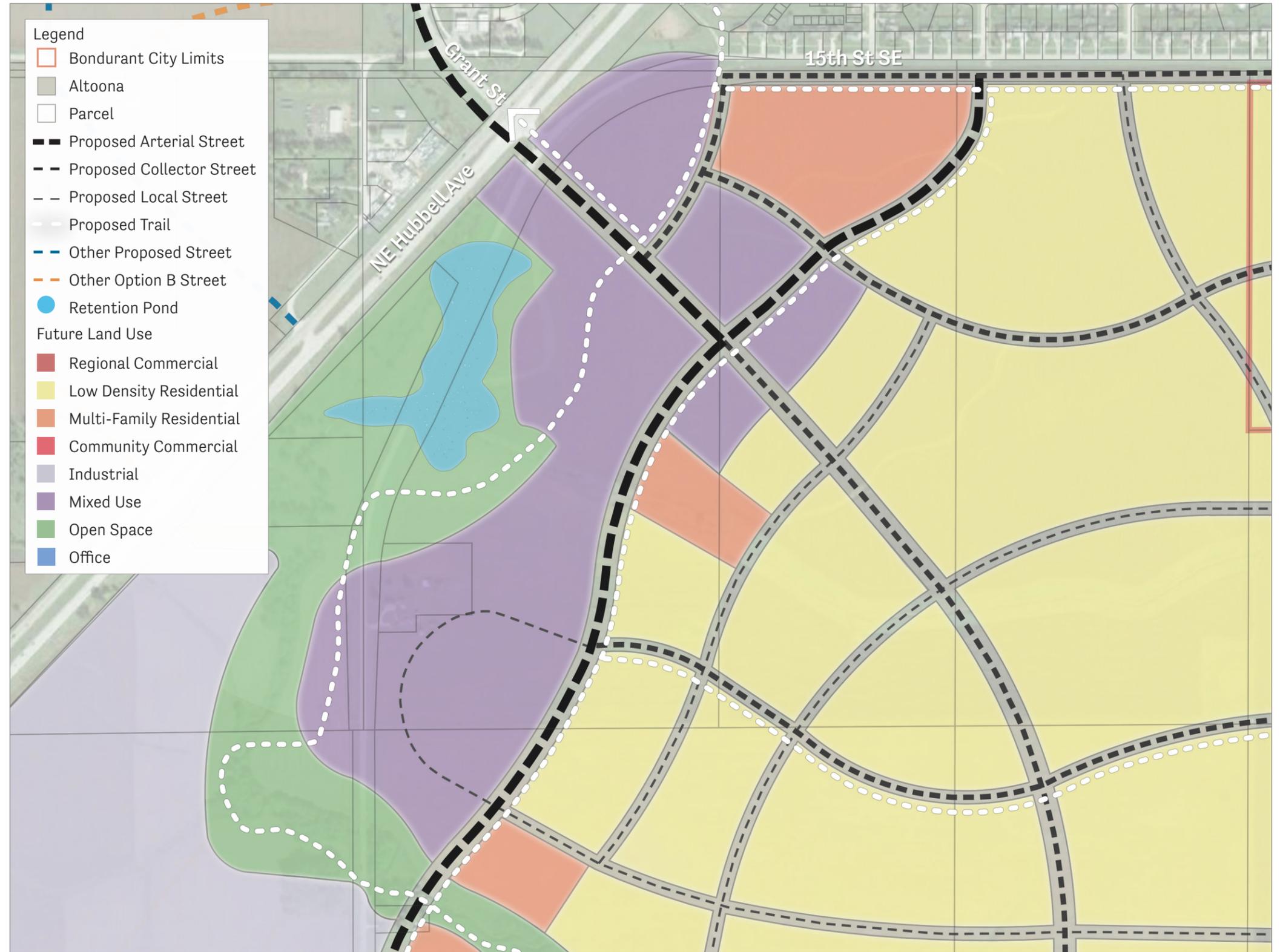


Figure 3.1 North Mixed Use Area

# SITE PLANNING

## OPEN SPACE, LANDSCAPING, BUFFERING + SCREENING

With the exception of agricultural buildings and single-family residential dwellings, all new buildings, building additions and expansions, new parking lots and parking lot expansions shall comply with the open space, landscaping, buffering and screening requirements contained herein.

As part of a required site plan submittal or building permit application for any new building or building addition, a detail landscape plan, including details for all required screening, shall be provided to the City for review.

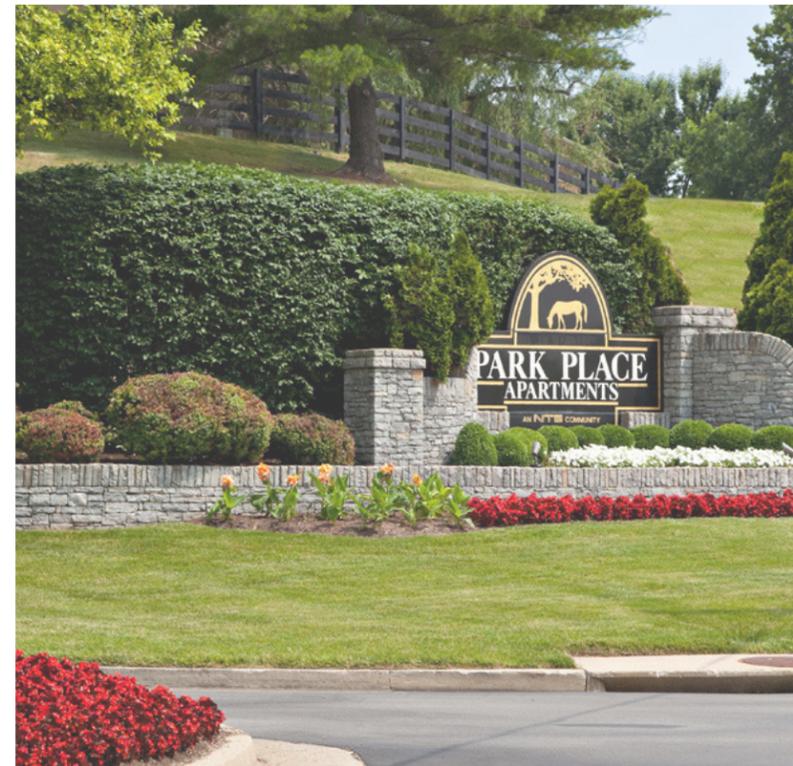


Figure 3.2 Open Space Examples

# SITE PLANNING

## OPEN SPACE, LANDSCAPING, BUFFERING + SCREENING

### Open Space Area

A minimum of twenty-five percent (25%) of each parcel (or a sum total of twenty-five percent (25%) of the entire project area for a planned development) shall be developed and maintained as open space.

Open space is any area that is not covered by an enclosed building, parking lot, or driveway. Open space may include paved patios, outdoor seating areas, plaza space, open air structures such as gazebos, theater stages, and bandshells. All open space areas shall be finished with landscaping, decorative paving, site furniture, lighting, and other hardscape features and elements.

Each commercial or mixed-use building (or combination of buildings if part of a planned development) shall provide an outdoor seating and gathering plaza space for use of its patrons and/or occupants. This can include space provided for outdoor seating and service and can be provided as a roof-top amenity deck.



Figure 3.3 Architectural Screening

# SITE PLANNING

## OPEN SPACE, LANDSCAPING, BUFFERING + SCREENING

### Open Space Landscaping

All areas not covered by building or paving shall be landscaped with turf grass, prairie grass, plant beds, shrubs, and trees.

### Minimum Planting Requirements

Two (2) trees shall be planted per 1,500 square feet of required open space and one (1) shrub shall be planted per 1,000 square feet of required open space. This landscaping is in addition to landscaping required for building foundation plantings, parking lot landscaping, and streetscape landscaping. At a minimum, fifty percent (50%) of the required trees shall be overstory type and fifteen percent (15%) of the required trees shall be evergreen type. The balance of the required trees may be understory type.



Figure 3.4 Franchise Architecture Examples

# SITE PLANNING

## OPEN SPACE, LANDSCAPING, BUFFERING + SCREENING

### Wood Mulch and Inorganic Ground Cover

Wood based mulch shall be used around all plantings and in all plant beds. Large areas of wood mulch that do not contain plantings shall not be permitted except when used around play structures. Inorganic ground cover material, including rock, chip brick, and synthetic turf, is prohibited except in extremely limited applications as may be deemed acceptable by the City.

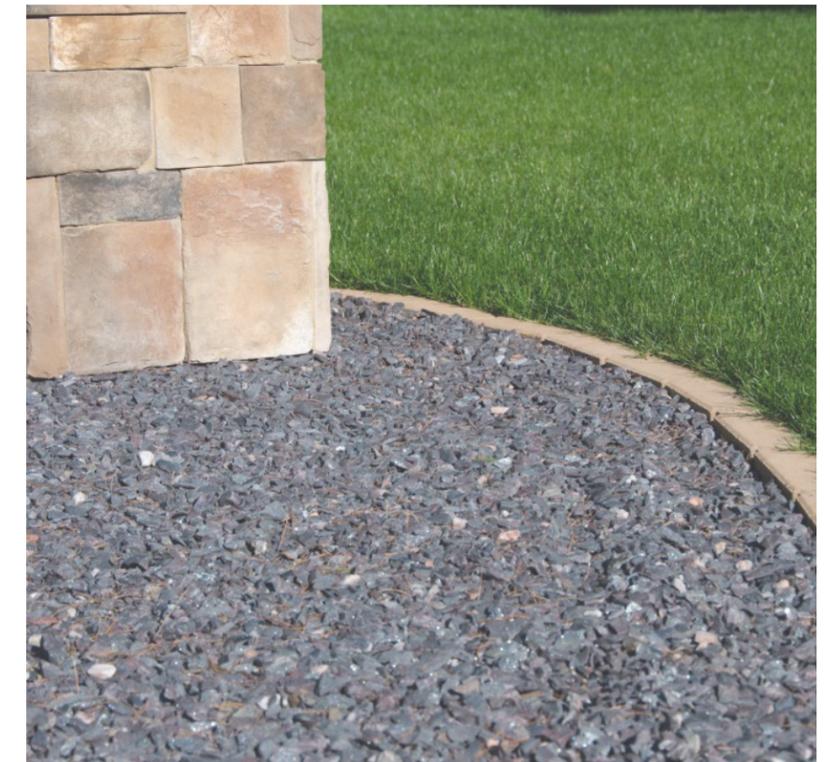


Figure 3.5 Appropriate Wood Mulch Application, top & bottom left; Inappropriate Mulch Applications, top & bottom right

# SITE PLANNING

## OPEN SPACE, LANDSCAPING, BUFFERING + SCREENING

### Building Foundation Plantings

Low height plant materials (shrubs, ornamental grasses, perennials) shall be planted and maintained along all building foundation lines where not impeded by building entrances, loading areas and sidewalks. Foundation plant materials shall not count towards the fulfillment of the required open space landscaping.



Figure 3.6 Appropriate Building Foundation Planting Examples

# SITE PLANNING

## OPEN SPACE, LANDSCAPING, BUFFERING + SCREENING

### Plant Material Standards

All plants shall be of the type and species appropriate for the climate and location being planted. All plant material shall be commercially produced and meet the minimum standards recognized by landscape professionals. In order to reduce the threat and impact of plant disease, multiple plant types and species shall be utilized on each site. No single tree or shrub species shall make up more than 15% of the total tree or shrub species on a site.

Overstory Tree is defined as a deciduous tree with one vertical stem or trunk which begins branching at a height of six (6) feet or more and has a distinct crown that reaches a mature height of at least 30 feet.

Understory Tree is defined as a deciduous tree (often an ornamental type tree) that reaches a mature height of less than 30 feet.

All plant sizes shall meet the following size requirements:

- » Overstory Trees – minimum 2.5-inch caliper.
- » Understory Trees – minimum 1.5-inch caliper.
- » Evergreen or Coniferous Trees – minimum six (6) feet in height.
- » Shrubs – minimum three (3) gallon container.
- » Ornamental Grasses – minimum one (1) gallon container.
- » Prairie Plantings – Must use at least three (3), but no more than five (5) varieties of short grass prairie species native to Iowa. Can be combined with similar height native wildflowers, but is limited to 10 additional species per development.



**Figure 3.7** Understory Tree, top left; Evergreen Tree, top right; Shrub, bottom left; Prairie Plantings, bottom right

# SITE PLANNING

## OPEN SPACE, LANDSCAPING, BUFFERING + SCREENING

### Plant Material Standards

The following trees are prohibited:

- » All Ash tree varieties
- » Birch, White/Paper
- » Boxelder
- » Cottonwood
- » Siberian and Chinese Elms
- » Maple, Silver
- » Pear (all species/cultivars)
- » Poplar (all species/cultivars)
- » Russian and Autumn Olive
- » Trees with thorns
- » Willow

Substitutions:

- » One (1) overstory tree may be substituted for 10 required shrubs
- » One (1) understory tree may be substituted for five (5) required shrubs



# SITE PLANNING

## OPEN SPACE, LANDSCAPING, BUFFERING + SCREENING

### Plant Locations

All plantings shall comply with the following:

- » In general, all plants shall be sited and spaced in a manner to allow for appropriate growth to mature size.
- » Trees shall be located no closer than six (6) feet to the back of curb along any driveway and no closer than four (4) feet to the edge of any parking lot, sidewalk or walkway.
- » Landscaping must meet minimum clearances from all fire hydrants and building vsprinkler systems as required by the fire department.
- » Overstory trees should not be placed within any public sanitary sewer, storm sewer or watermain utility easement.
- » No landscaping shall be planted in violation of the City's traffic visibility clearance zone requirements.



Figure 3.8 Understory Tree, top left; Evergreen Tree, top right; Shrub, bottom left; Prairie Plantings, bottom right

# SITE PLANNING

## OPEN SPACE, LANDSCAPING, BUFFERING + SCREENING

### Buffers

Buffers shall be provided according to the screening provisions found in Chapter 179.02 of the City's Zoning Code Regulations.



Figure 3.9 Buffer Examples

# SITE PLANNING

## OPEN SPACE, LANDSCAPING, BUFFERING + SCREENING

### Equipment and Refuse Screening

All ground mounted HVAC and mechanical equipment, back-up power generators, vents, piping, and utility meters shall be screened from view from adjacent public street and residential property. Screening shall be accomplished via a combination of landscaping, walls, and building structure.

**Trash Enclosures** - All outdoor trash and recycling receptacles, dumpsters, and grease collection containers shall be screened on all sides by the use of a permanent enclosure, with opaque gates for disposal truck access. The enclosure shall be constructed of permanent materials such as textured block, split faced concrete block, brick or stone. Wood or composite material fencing is not an acceptable enclosure. Colors and materials shall be compatible with the dominant architectural materials of buildings on site and shall be integral to a building on site whenever possible. The enclosure shall be located out of public view and constructed to visibly screen the views from the adjoining properties. Landscaping should be included around the enclosure to soften its impact.

**Shopping Cart Corrals** – Shopping carts must be stored within a building and may not be stored or kept outside after regular business hours or for longer than a 24-hour time period. Outdoor areas (shopping cart corrals) may be designated for the temporary collection of shopping carts. No letters, logos, images, or graphics are permitted on or within the shopping corral. Corrals should consist of decorative wall or fenced enclosures and/or landscaped islands. Prefabricated metal tubing or plastic type shopping corrals shall be prohibited. The location and details for all shopping corral areas shall be provided on the site plan for City review.



Figure 3.10 Equipment & Refuse Screening Examples, top row; Shopping Cart Corral Examples, bottom row

# SITE PLANNING

## VEHICLE, BIKE, AND PEDESTRIAN CIRCULATION + PARKING

### Parking Lot Layout

Docks and loading areas shall not be permitted between principal structures and any public street. No off-street parking or loading area shall be located closer than 15 feet to a public street right-of-way line or residentially zoned property.

Parking stalls and drive aisles shall comply with the dimension standards contained in the City code. However, consideration should be given to creating parking for larger vehicles with parking stall widths that are greater than the minimum required by code.

All rows of parking shall be terminated with a curbed landscaped island that is a minimum nine (9) feet wide and no less than 16 feet in length.

No off-street parking or loading area shall be more than 100 feet from an overstory tree located within a landscaped open space area.

Sidewalks that abut the front edge of any parking stall shall be no less than 7 feet wide to accommodate a two (2) feet vehicle overhang.

All adjoining commercially zoned properties within this Overlay District shall allow for and provide parking and pedestrian interconnections to permit cross circulation and flow of traffic.



Figure 3.11 Parking Lot Layout Examples

# SITE PLANNING

## VEHICLE, BIKE, AND PEDESTRIAN CIRCULATION + PARKING

### Parking Lot Landscaping

All parking lot islands shall be landscaped with a combination of turf grass, prairie grass, plant beds, shrubs, and trees with no less than three (3) different landscape materials being utilized. Rock, chip brick, pavers, pavement and similar hard surfacing shall not be permitted. Sidewalks may be permitted as necessary to accommodate pedestrian circulation. One (1) overstory tree shall be planted within each 9 feet wide landscaped island.

Whenever an off-street parking area fronts along a public street, an average of one overstory tree and two (2) understory trees shall be planted every fifty (50) linear feet within the minimum 15 feet parking lot setback area. Additionally, a minimum three (3) feet tall vehicle headlight screen shall be installed between the parking lot and the adjoining street or residentially zoned property. This screen shall be constructed with a combination of at least 3 of the following different items: shrubs, ornamental grasses, earth berming, and low masonry walls.

Parking areas that adjoin an “R” district shall comply with the buffering requirements of Chapter 177.10 of the City Zoning and Code Regulations.



Figure 3.12 Parking Lot Landscape Design Examples

# SITE PLANNING

## VEHICLE, BIKE, AND PEDESTRIAN CIRCULATION + PARKING

### Parking Lot & Driveway Surfacing + Dimensions

All parking lots, driveways and drive aisles shall be paved and include integral curbing in accordance with Chapter 177.08 of the City Zoning Regulations. Parking lot driveways, drive aisle, and parking stall dimension shall also conform with the City Zoning Regulations. Wheel stops and similar non-integral curbing is discouraged except as may be necessary for ADA accessible parking stalls.

Alternative curbing and pavement edge treatments may be permitted for parking lot bio-swales and rain gardens. Permeable paving as part of a comprehensive storm water management plan is encouraged.



Figure 3.13 Parking Lot & Driveway Surfacing & Dimension Examples

# SITE PLANNING

## VEHICLE, BIKE, AND PEDESTRIAN CIRCULATION + PARKING

### Vehicle Drive-Thru and Drive-In Facilities

No drive-thru facility for a restaurant, coffee shop, bank, drug store, or similar use shall be approved unless determined by the City that the drive-thru facility will not interfere with pedestrian and vehicle circulation or otherwise negatively impact the overall development of the Overlay District.

The following standards shall apply to all drive-thru facilities:

- » Drive-thru structures and components shall be incorporated into the overall design of the building.
- » Stand-alone drive-thrus and drive-thru canopies shall be prohibited.
- » Window service and menu boards cannot face a public street and shall be screened from view of all public streets.
- » Raised islands, decorative paving treatments, and soft landscaping or other forms of barriers to separate stacking lanes from main parking areas and driveways are required where possible.
- » Only single-lane drive-thrus shall be permitted. Double drive-thru lanes (side-by-side) are prohibited.
- » Drive-thru staking and queuing lanes shall not wrap around the building on more than two (2) sides.
- » All food and beverage service drive-thrus shall provide no less than twelve (12) vehicle queuing spaces per drive-thru, six (6) of which shall be located before the ordering station if separate from the pick-up window. All other drive-thru facilities shall have no less than five (5) vehicle queuing spaces. Queuing spaces shall be no less than twelve feet (12') in width and twenty feet (20') in depth.
- » Queuing spaces shall not be located in a manner that will block any designated parking space.



Figure 3.14 Appropriate Drive-Thru Examples, top row; Inappropriate Drive-Thru Examples, bottom row

# SITE PLANNING

## VEHICLE, BIKE, AND PEDESTRIAN CIRCULATION + PARKING

### Off-Street Parking Requirements

ADA Accessible parking shall be provided in accordance with federal and state law. All uses shall provide the number of off-street parking spaces as prescribed by Chapter 177.08 of the City Zoning Regulations.

### Alternate Parking Standard:

At their sole discretion, the City may approval an alternate method for calculating the required parking for a given site including credit for shared parking between off-peak uses and parking shared at multi-tenant retail centers. The City may further defer the construction of required parking to a date certain, as part of a future phases, or upon determination of need. Deferred parking must be identified upon the site plan and accommodated as part of the site plan design including storm water management.

### Electric Vehicle Parking:

The provision of electrical connections or 'charging stations' for electrical powered vehicles is encouraged on all properties.

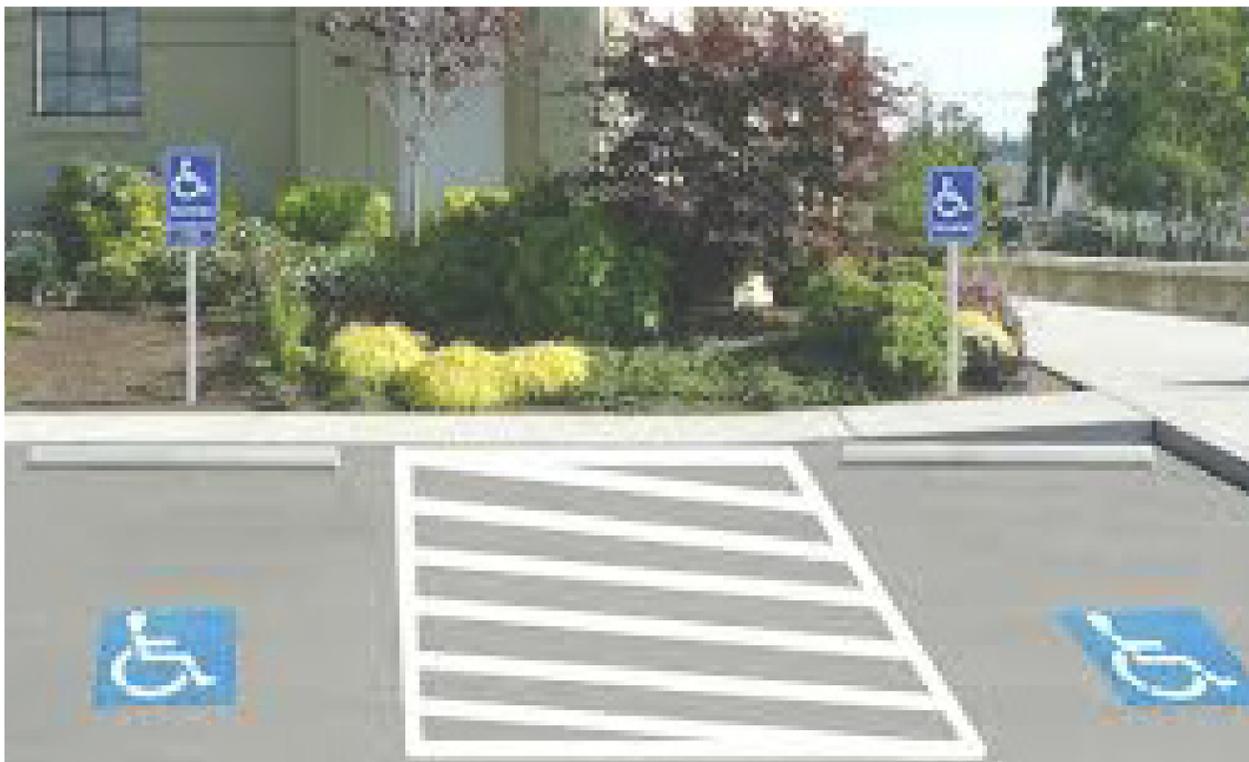


Figure 3.15 Parking Lot Layout Examples

# SITE PLANNING

## VEHICLE, BIKE, AND PEDESTRIAN CIRCULATION + PARKING

### Bike Facilities

Every building that contains a residential or a retail use including, restaurants, bars, and coffee shop, should provide a bike parking facility, such as a bike rack or bike lock boxes or an indoor bike storage area. Residential buildings are encouraged to provide indoor bike storage areas and bike wash-down and repair facilities.

### Pedestrian Circulation Plan

Site plans for all new buildings, building additions and expansions, new parking lots and parking lot expansions shall include a plan for pedestrian circulation for the site. Sidewalk connections shall be made from all major building entrances to the parking lot and to the nearest public sidewalk or trail. Pedestrian circulation through the parking lot and to outdoor patios and seating areas shall also be provided. All sidewalks shall be a minimum five (5) feet wide. The use of special pavement treatments and markings to delineate and announce pedestrian crossings shall be required.



Figure 3.16 Bike Facilities, top row; Pedestrian Circulation, bottom row

## OUTDOOR DISPLAYS AND SALES



Outdoor storage of any kind shall be prohibited in all area not zoned industrial; however, the outdoor display of retail goods for sale may be permitted in commercially zoned properties subject to site plan review and approval and the regulations contained herein. Retail properties may define limited areas within their site for permanent and/or intermittent outdoor display and sales (i.e., pumpkins, plants, lawn and garden goods), including outdoor seating areas for food and beverage service, subject to the provisions contained herein. All outdoor display and sales and food and beverage service areas must be clearly defined and detailed on a site plan and obtain approval as part of a site plan process or otherwise obtain site plan approval from the City. All other City Code requirements for seasonal and temporary uses must be met.

Outdoor display and outdoor seating areas shall be hard surfaced and cannot not be located upon any parking stalls or drive aisles, and must be situated immediately adjacent to the retail establishment or tenant space which shall have exclusive use of said areas. Off-site businesses/non-tenants shall not be allowed to utilize these areas except as maybe approved by the City as part of a City sanctioned special event (i.e., farmers markets, craft shows, rummage sales, art festivals, food festivals, fun-runs, music events, live performances).



Outdoor display and seating areas shall be located no closer than 10 feet from any property line or street right-of-way and may not be located within any street or driveway vision triangle, required buffer, or required open space area. The layout of any outdoor display, sales, and seating areas shall be designed so to not create a traffic hazard or congestion and shall allow for the safe and unimpeded flow of pedestrian traffic, including exiting from the building. A minimum five (5) feet of clearance shall be maintained along all sidewalks and walking paths/pedestrian routes.

Outdoor food and beverage service areas are required to have a permanent barrier or fence, that is a minimum three (3) feet tall, enclosing the outdoor seating area. The permanent barrier or fence shall be architecturally consistent and appropriate with the level of finish and appearance of the adjacent retail building. No detached or freestanding signage shall be permitted except as may be allowed by Chapter 181 of the City Zoning Regulations.



# SITE PLANNING

## LIGHTING

All site and building lighting shall be LED type of a soft-white or bright-white quality. All light fixtures shall be downcast in nature and must possess sharp, cut-off qualities to limit off-site glare. Wall-pack type light fixtures are prohibited. Buildings and signage may be up-cast or downcast illuminated provided said lighting does not shine or glare off or past the sign or building wall. A photometric plan and cut-sheets of all light fixtures shall be provided to the City during the site plan and/or building permit review process.



# SITE PLANNING



## SIGNAGE

All signage shall comply with the City's sign code regulations contained in Chapter 181 of the City's Zoning Code Regulations for the underlying zoning in which they are located, except as modified herein for permanent building signs and monument signs.

### Building Signs

All building wall signs, including roof and projecting signs but not including awning and window signs, should consist of solid individual letters and symbols made of anodized aluminum or similar materials or should consist of individual illuminated self-contained letters and symbols made of anodized aluminum or similar materials with translucent plastic faces. Signs with exposed neon or exposed florescent tubes or light bulbs are prohibited. Painted signs, including any lettering, graphics, images, and logos, are prohibited except as may be permitted on awnings and windows.

No individual letter or symbol should exceed six (6) feet in height and six (6) feet in width. All letters and symbols should be individually attached to the building wall. Raceways are prohibited. In any situation where it is not physically practical to mount a wall sign without a raceway, a pan style raceway may be utilized.

Panel signs are prohibited; however, a panel type sign of an individual logo or graphic may be permitted as part of a building sign provided the panel area does not exceed six (6) feet in height and six (6) feet in width and is designed as if it were an individual illuminated self-contained letter or symbol.

All building signage on a single building should be uniform in appearance employing an identical system of construction and use of materials and colors. Prior to installation of any signage, all multi-tenant buildings should provide a signage plan detailing the general design of all signage and how and where signage will be allocated to each individual tenant space. This plan should be adhered to unless an alternate plan is provided to the City by the building owner.

# SITE PLANNING

## SIGNAGE

### Monument Signage

All free standing, monument or ground signs shall be monolithic or columnar in style that maintains essentially the same contour from grade to top. Pole signs (signs mounted on poles) are prohibited. The sign face shall consist of solid individual letters and symbols made of anodized aluminum or similar materials or should consist of individual illuminated self-contained letters and symbols made of anodized aluminum or similar materials with translucent plastic faces. Signs may also consist of routed face signs. Painted signs are prohibited. Signs with exposed neon or exposed florescent tubes or light bulbs are prohibited.

No individual letter or symbol should exceed four (4) feet in height and four (4) feet in width. All letters and symbols should be individually attached to the sign monument surface. Raceways are prohibited.

Panel signs are prohibited; however, a panel sign of an individual logo or graphic may be permitted as part of a monument sign provided the panel area does not exceed four (4) feet in height and four (4) feet in width and is designed as if it were an individual illuminated self-contained letter or symbol.



# SITE PLANNING

## STORMWATER MANAGEMENT

All sites shall provide storm water management and detention facilities as necessary and required by City Code. When possible, storm water management facilities should be shared in order to improve performance, reduce costs and provide a great site amenity.

The use of bio-swales, rain gardens, pervious paving and other stormwater infiltration methods are strongly encouraged. Any surface detention areas should be designed as a wet retention pond and developed into a site amenity with landscaping, walking trails, interpretive signage, and site furniture. All pond edges shall be appropriately treated and landscaped. Landscaping contained within storm water management features may count towards the open space landscape requirement.

